



City of Albertville Council Agenda

Tuesday, September 3, 2024

City Council Chambers

7 pm

PUBLIC COMMENTS -The City of Albertville welcomes and encourages public input on issues listed on the agenda or of general community interest. Citizens wishing to address the Council regarding specific agenda items, other than public hearings, are invited to do so under Public Forum and are asked to fill out a "Request to Speak Card". Presentations are limited to five (5) minutes.

1. Call to Order

2. Pledge of Allegiance – Roll Call

Pages

3. Recognitions – Presentations – Introductions

4. Public Forum – (time reserved 5 minutes)

5. Amendments to the Agenda

6. Consent Agenda

All items under the Consent Agenda are considered to be routine by the City staff and will be enacted by one motion. In the event an item is pulled, it will be discussed in the order listed on the Consent Agenda following the approval of the remaining Consent items. Items pulled will be approved by a separate motion.

- A. Approve the August 5, 2024, regular City Council Meeting minutes as presented. 3-7
- B. Approve the August 19, 2024, Budget Workshop Meeting minutes as presented. 8
- C. Authorize the Monday, August 19, 2024, payment of claims as presented, except bills specifically pulled which are passed by separate motion. The claims listing has been provided to City Council as a separate document and is available for public view at City Hall upon request. 9
- D. Approve Payment Estimate No. 1 to Omann Contract in the amount of \$108,144.32 for the 2024 Street Improvement project.

7. Public Hearing – None

8. Wright County Sheriff's Office – Updates, reports, etc.

9. Department Business

A. City Council

- 1. **Committee Updates** (*STMA Arena, Planning, JPWB, Parks, Fire Board, FYCC, etc.*)

B. Building – None

C. City Clerk

- 1. **Set Special Council Meeting to Canvass 2024 General Results** 10
(Set the Canvassing Board meeting to certify the results of the November 5, 2024, General Election for 5:45 pm on Tuesday, November 12, 2024, in the Albertville Council Chambers.)

D. Finance

- 1. 2025 Preliminary Budget and Property Tax Levy** 11-16
- *(Motion to adopt Resolution No. 2024-25 adopting the 2024 Preliminary Tax Levy collectable in 2025.)*
 - *(Motion to adopt Resolution No. 2024-26 adopting the 2025 Preliminary Budget.)*

E. Fire – None

F. Planning and Zoning

- 1. Conditional Use Permit for Detached Accessory Building at 11760 57th Street** 17-24
(Motion to adopt Resolution No. 2024-27 approving a request for a conditional use permit for a 194 sq. ft. detached accessory building at 11780 57th Street within the City of Albertville.)
- 2. Albertville Plaza – Gravity Dance Studio Applications** 25-50
(Motion to adopt Resolution No. 2024-28 approving requests for Gravity Dance Studio PUD Development Site and Building Plans for Lot 2, Block 1, Albertville Plaza 2nd Addition to allow for the construction a 9,544 sq. ft. Commercial Building containing a 7,000 sq. ft. Dance Studio and 2,544 sq. ft. Commercial Tenant Bay within the City of Albertville.)
- 3. Shoppes at Prairie Run 2 – Si Senor Restaurant Applications** 51-72
(Motion to adopt Resolution No. 2024-29 approving requests for an amendment to the Shoppes of Prairie Run 2 Site and Building Plans for Lot 1, Block 1 Shoppes At Prairie Run 2 to allow the Si Senor Commercial Building and for the construction of a 7,227 Sq. Ft. Commercial Building containing a 4,832 sq. ft. Restaurant and 2,395 sq. ft. Commercial Tenant Bay at 5292 Kyler Avenue NE within the City of Albertville.)

G. Public Works/Engineering

- 1. Linwood Park Sports Court Quotes**

H. Legal

- 1. Special Assessment of Cleanup cost to Maeyaert Property** 73-76
(Motion to adopt Resolution No. 2024-30 calling for hearing on proposed assessment related to nuisance and zoning violations on property located at 10479 61st Street NE in Albertville, MN.)

I. Administration

- 1. City Administrator’s Update** 77-78

10. Announcements and/or Upcoming Meetings

September 9	STMA Arena Board, 7 pm
September 10	Planning Commission, 7 pm
September 16	City Council, 7 pm
September 23	Joint Powers Water Board, 6 pm Parks Committee, 7 pm

11. Adjournment



ALBERTVILLE CITY COUNCIL

DRAFT REGULAR MEETING MINUTES

August 5, 2024 – 7 pm
Council Chambers
Albertville City Hall

1. Call to Order

Mayor Hendrickson called the meeting to order at 7 pm.

2. Pledge of Allegiance – Roll Call

Present: Mayor Hendrickson, Councilmembers Cocking, Hayden and Olson.

Absent: Councilmember Zagorski

Staff Present: City Administrator Nafstad, Fire Chief Bullen, City Attorney Couri, City Planner Brixius, Finance Director Lannes, and City Clerk Luedke.

3. Recognitions – Presentations – Introductions – None

4. Public Forum – None

5. Amendments to the Agenda

City Administrator Nafstad requested to add an item 9I2 under Administration entitled “Parcel on 60th Street”.

MOTION made by Councilmember Olson, seconded by Councilmember Cocking to approve the August 5, 2024, agenda as amended. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

6. Consent Agenda

All items under the Consent Agenda are considered to be routine by the City staff and will be enacted by one motion. In the event an item is pulled, it will be discussed in the order listed on the Consent Agenda following the approval of the remaining Consent items. Items pulled will be approved by a separate motion.

- A. Approve the July 15, 2024 Budget Workshop Meeting minutes as presented.
- B. Approve the July 15, 2024, regular City Council Meeting minutes as presented.
- C. Authorize the Monday, August 5, 2024, payment of claims as presented, except bills specifically pulled which are passed by separate motion. The claims listing has been provided to City Council as a separate document and is available for public view at City Hall upon request.
- D. Approve Payment Application No. 16 to Gridor Construction in the amount of \$333,912 for the Wastewater System Improvements.
- E. Approve Final Payment Application to Fehn Companies in the amount of \$11,926.49 for the 2024 Concrete Improvements.

MOTION made by Councilmember Cocking, seconded by Councilmember Hayden to approve the August 5, 2024, consent agenda as submitted Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

7. Public Hearing – None

8. Wright County Sheriff’s Office – Updates, reports, etc.

The Wright County Sheriff Deputy who was present asked if parking of semi-trucks was allowed on Kyler Avenue because he was not able to find an ordinance prohibiting it. He reported the Sheriff’s Department has been receiving complaints on the issue lately.

City Administrator Nafstad reported as long as the trailers were attached to a vehicle, parking would be allowed. He said the City was not aware of the complaints but added the City would monitor it.

9. Department Business

A. City Council

1. Committee Updates (*STMA Ice Arena, Planning, JPWB, Parks, Fire Board, FYCC, etc.*)

There were no Council updates.

B. Building – None

C. City Clerk – None

D. Finance

1. Tort Liability Insurance Renewal

Finance Director Lannes provided background information on the insurance renewal and answered questions from Council.

MOTION made by Councilmember Olson, seconded by Councilmember Cocking to not waive the City’s monetary limits on tort liability established by Minnesota Statutes, Section 466.04. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

E. Fire

1. PERA SVF Report Discussion

Fire Chief Bullen provided a short update which included that he recently accepted a position with the League of Minnesota Cities Insurance Trust on their Advisory Board and former Fire Chief Tate Mills had been appointed as the State Fire Marshall Chief Deputy.

Chief Bullen said last year, the Fire Relief Association moved to the Public Employees Retirement Association of MN Statewide Volunteer Firefighter Plan. He reviewed the Summary of Results report and the current Albertville Volunteer Fire Department’s benefit level. Chief Bullen said at this time, no action was required that he was looking for Council’s direction on what contribution level he should bring back for their consideration by the end of the year. He answered questions from Council regarding the funding and Relief Association.

Finance Director Lannes answered questions from Council regarding the funding.

There was Council discussion regarding the Summary of Results report, the current benefit level for the Albertville Fire Department and the cost impact of the different increase in benefit levels.

F. Planning and Zoning

1. Albertville Plaza 3rd Addition/KinderCare Daycare Zoning Amendment

City Planner Brixius presented the staff report which included background information on the proposed subdivision application to create three lots which would be accessed by the private road extended from Albertville Plaza. He explained the requirements of a Business Association to maintain and repair the private road in which he reported the applicant would be required to join. Planner Brixius said the Planning Commission held a public hearing on July 9, 2024, and recommended approval of the application with the conditions outlined in the resolution. He answered questions from Council.

City Administrator Nafstad provided further explanation on the concept of the subdivision and reported that the applicant was proposing to purchase a portion of the property from the current property owner which would be divided into three lots. He said the current owner would retain the other two lots for future development. Administrator Nafstad recommended adding a requirement to the resolution regarding wetland conservation act approvals.

There was Council discussion regarding the future daycare, the subdivision for the property, and the private street and Business Association. The Council directed City staff to amend the Resolution to include a condition requiring wetland approval and to provide the City with documentation.

Mr. Sean Graham, applicant with Insite Real Estate, answered questions from Council regarding the proposed daycare, capacity levels, and locations of other facilities.

MOTION made by Councilmember Hayden, seconded by Councilmember Cocking to adopt **Resolution No. 2024-20** and **Ordinance No. 2024-04** addressing the development applications from InSite Development Services LLC for a three lot subdivision, a zoning map and text amendment to change the zoning on the site from B-2A to PUD/ B-2A and a PUD development stage site and building plan for the construction of a 10,000 square foot KinderCare daycare facility, at 5953 Labeaux Avenue NE as amended. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

G. Public Works/Engineering – None

H. Legal – None

I. Administration

1. City Administrator’s Update

City administrator Nafstad presented the City Administrator’s Update and provided information on upcoming events within the City.

2. Parcel on 60th Street Discussion

City Administrator Nafstad provided information on the property located at 11308 60th Street which was for sale. He reported the property had a metal building on it that could be used for the Public Works Department to store equipment used on this side of the freeway, especially items for Central Park such as mowers, snow blowers, etc. He answered questions from Council regarding the building structure and equipment that could be stored there.

There was Council discussion regarding the property and the building structure.

City Attorney Couri reported under Chapter 13D, the Council could close the meeting to discuss a purchase price for the property.

MOTION made by Councilmember Hayden, seconded by Councilmember Olson to close the meeting. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

The Council discussed a purchase price for the property.

MOTION made by Councilmember Hayden, seconded by Councilmember Olson to re-open the Council meeting. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

MOTION made by Councilmember Cocking, seconded by Councilmember Hayden to authorize the City Attorney to prepare a purchase agreement in the amount of \$130,000 with the cost of phase I and phase II if recommended. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

3. Closed Meeting – Update on City of Albertville vs Potter Litigation

MOTION made by Councilmember Cocking, seconded by Councilmember Hayden to close the meeting for the purposes of litigation to discuss Wright County Court file 86-CV-23-5596. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

City Attorney Couri provided an update to the Council regarding the on-going litigation.

MOTION made by Councilmember Cocking, seconded by Councilmember Olson to re-open the Council meeting. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

MOTION made by Councilmember Cocking, seconded by Councilmember Hayden to approve the settlement agreement presented by the City Attorney. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

City Attorney Couri presented an update on the on-going nuisance complaint with the Maeyaert property. He said another cleanup had happened today and answered questions from Council regarding the cleanup process. City Attorney Couri said there would be another special assessment from this cleanup.

Finance Director Lannes answered questions from Council regarding the assessment process.

10. Announcements and/or Upcoming Meetings

August 12	STMA Arena Board, 6 pm
August 13	Primary Election
August 14	Planning Commission, 7 pm
August 19	Council Budget Workshop, 6:15 pm
August 19	City Council, 7 pm
August 26	Joint Power Water Board, 6 pm
	Parks Committee, 7 pm

11. Adjournment

MOTION made by Councilmember Cocking, second by Councilmember Hayden to adjourn the meeting at 8:30 pm. Ayes: Cocking, Hayden, Hendrickson, and Olson. Nays: None. Absent: Zagorski. The motion carried.

Respectfully submitted,

Kristine A. Luedke, City Clerk



ALBERTVILLE CITY COUNCIL WORKSHOP

DRAFT MINUTES

August 19, 2024 – 6:15 pm
Council Chambers
Albertville City Hall

1. Call to Order

Mayor Hendrickson called the workshop to order at 6:25 pm.

Present: Mayor Hendrickson, Councilmembers Olson and Zagorski.

Absent: Councilmember Cocking and Hayden

Staff Present: City Administrator Nafstad, Chief Bullen, Finance Director Lannes, and City Clerk Luedke.

2. Continued 2025 Preliminary Budget Presentation

City Administrator Nafstad introduced the item and reported the City had until the end of September to approve the preliminary budget. He said the draft preliminary budget being presented was set at 4.8% and reported no new line items had been added since the last workshop and answered questions from Council.

Finance Director Lannes reviewed the draft 2025 budget summary and presented the 2025 estimated financial impacts to the residential and commercial properties within the City with the 4.8% proposed levy increase. She answered questions from Council regarding the franchise fees the City collects, the building inspection fees and the budget for future street and building improvements needed within the City.

Fire Chief Bullen provided additional information on the budget for fire and police services and answered questions from Council.

There was much Council discussion regarding the 2025 Preliminary Budget, franchise fees the City collects, the proposed levy impacts, the future increase to policing service and the phase out of the Otsego Fire Contract. Planning for the future expenses, the Council's consensus was to amend the proposed levy to 5.4%. City Administrator Nafstad reported that City staff would bring the proposed budget back to the first meeting in September for Council's review recognizing if changes were proposed to the budget, it could be approved at the second meeting in September.

3. Adjournment

MOTION made by Councilmember Olson, second by Councilmember Zagorski to adjourn the workshop at 6:59 pm. Ayes: Hendrickson, Olson, and Zagorski. Nays: None. Absent: Cocking and Hayden. The motion carried.

Respectfully submitted,

Kristine A. Luedke, City Clerk

September 3, 2024

SUBJECT: CONSENT – FINANCE – PAYMENT OF BILLS

RECOMMENDATION: It is respectfully requested that the Mayor and Council consider the following:

MOTION TO: Authorize the Tuesday, September 3, 2024, payment of the claims as presented except the bills specifically pulled, which are passed by separate motion. The claims listing has been provided to Council as a separate document. The claims listing is available for public viewing at City Hall upon request.

BACKGROUND: The City processes claims on a semi-monthly basis. The bills are approved through their respective departments and administration and passed onto the City Council for approval.

KEY ISSUES:

- **Account codes starting with 810 are STMA Arena Expenses/Vendors (bolded) and key issues will be presented in the claims listing document.**

POLICY/PRACTICES CONSIDERATIONS: It is the City's policy to review and approve payables on a semi-monthly basis.

FINANCIAL CONSIDERATIONS: City staff have reviewed and recommends approval of payments presented.

LEGAL CONSIDERATIONS: The Mayor and Council have the authority to approve all bills pursuant to Minnesota State Law, which requires all bills to be paid in a timely manner, generally within 30 days unless one party determines to dispute the billing.

Responsible Person: Tina Lannes, Finance Director

Submitted through: Adam Nafstad, City Administrator-PWD

Attachment:

- List of Claims (under separate cover)

September 3, 2024

**SUBJECT: CITY CLERK – SET SPECIAL COUNCIL MEETING TO CANVASS 2024
GENERAL ELECTION RESULTS**

RECOMMENDATION: It is respectfully requested that the Mayor and Council consider the following:

MOTION TO: Set the Canvassing Board meeting to certify the results of November 5, 2024, General Election for 5:45 pm on Tuesday, November 12, 2024, in the Albertville Council Chambers.

BACKGROUND: The Albertville City Council serves as the Election Canvassing Board for the City. The Canvassing Board must meet no sooner than three (3) days after the election and no later than ten (10) days after the election and requires at least a quorum of the Board. The Board must review the results for correctness. If the Board is satisfied that the tabulation of the votes is correct, the Board may make the results official. Due to Monday, November 11 being a holiday, City staff is recommending setting the special Canvassing Board meeting for Tuesday, November 12, 2024, at 5:45 pm prior to the STMA Arena Board meeting.

KEY ISSUE:

- The Albertville Council serves as the Election Canvassing Board for the City.
- The Canvassing Board must meet between Friday, November 8, 2024, and Friday, November 15, 2024, to canvass the election results from the November 5, 2024, General Election.
- Monday, November 11, 2024, the Albert City Hall offices will be closed in observance of Veteran's Day.
- Staff is recommending setting the Canvassing Board meeting for Tuesday, November 12, 2024, at 5:45 pm prior to the STMA Arena Board meeting.
- A quorum of the Canvassing Board must be present to certify the election results.

POLICY/PRACTICES CONSIDERATIONS: A special meeting must be set between the third and tenth day after an election to canvass the election results

LEGAL CONSIDERATIONS: Per MN Statute 205.185, sub. 3, between the third and tenth days after an election, the governing body of a City conducting the general election in November shall act as the canvassing board, canvass the returns, and declare the results of the election.

Responsible Person: Kris Luedke, City Clerk

Submitted Through: Adam Nafstad, City Administrator-PWD

September 3, 2024

SUBJECT: FINANCE – 2025 PRELIMINARY BUDGET AND PROPERTY TAX LEVY

RECOMMENDATION: It is respectfully requested that the Mayor and Council consider the following:

MOTION TO:

- Adopt Resolution No. 2024-25 adopting the 2024 Preliminary Property Tax Levy collectible in 2025.
- Adopt Resolution No. 2024-26 adopting the 2025 Preliminary Budget.

BACKGROUND: Annually, the budget and property tax levy process start in June with staff preparing estimates and projections for the following year’s preliminary or draft budget. Through meetings and workshop sessions, the City Council reviews the preliminary budget and amends it as desired. Prior to September 30 of each year, the following year’s proposed tax levy is submitted to Wright County for preliminary certification.

Attached is the preliminary summary budget for 2025.

The preliminary budget for 2025 totals \$6,897,356. The budget includes a general fund tax levy of \$2,721,294 for taxes payable 2025, the debt service levy of \$755,126 and a levy for capital in the amount of \$2,344,018. The total levy, general fund, debt service and capital has increased from \$5,522,071 in 2024 to \$5,820,438, which is a 5.40% increase.

KEY ISSUES:

1. **Levy Adoption Schedule:** The final levy is not certified until mid-December so there is still an opportunity to review, discuss, and change the 2025 budget and tax levy as needed. The important thing to note is that the final levy can be less than the preliminary levy, but it cannot be more. For the preliminary levy, it is best to avoid “locking” into a levy that could be inadequate to fund operations and programs for next year.
2. **LGA:** The City is estimated to receive LGA in the amount of \$261,315, which reduces the general fund levy by that amount.

POLICY CONSIDERATIONS: It is the City’s policy to review and approve the 2025 Budget and Proposed Property Tax Levy.

FINANCIAL CONSIDERATIONS: In reviewing the Albertville projected 2025 Budget, we anticipate maintaining the Office of the State Auditors minimum requirements of 35% of the budget in designated funds for general reserve, as well as, Albertville’s policy of 50%.

LEGAL CONSIDERATIONS: The Mayor and Council have the authority to approve the 2025 Annual Preliminary Budget and Preliminary Property Tax Levy pursuant to Minnesota State Law.

Responsible Person: Tina Lannes, Finance Director

Submitted Through: Adam Nafstad, City Administrator-PWD

Attachments:

- Preliminary Summary Budget
- Resolution No. 2024-25 Adopting the Preliminary Tax Levy
- Resolution No. 2024-26 Adopting the 2025 Preliminary Budget



8/19/2024

**2025 DRAFT BUDGET SUMMARY COMPARISON
 GENERAL FUND**

General Fund Revenue:		2024 Budget	2025 Budget	Difference 24 to 25 \$	Difference 24 to 25 %
31010	Current Ad Valorem Taxes	2,744,776	2,721,294	-\$23,482	-0.86%
32000	Licenses & Permits	30,500	30,500	\$0	0.00%
32110	Liquor Licenses	30,000	30,000	\$0	0.00%
32150	Sign Permits	2,500	2,500	\$0	0.00%
32210	Building Permits	200,000	200,000	\$0	0.00%
33401	LGA Revenue expected	258,858	261,315	\$2,457	0.95%
33405	Police Aid	48,000	50,000	\$2,000	4.17%
33423	Municipal Maintenance Aid	11,535	11,535	\$0	0.00%
34000	Charges for Services	18,000	18,000	\$0	0.00%
34001	Administrative Fee	1,500	1,500	\$0	0.00%
34005	Engineering Review Fee - Bldg	3,000	250	-\$2,750	-91.67%
34101	Leases - City Property	31,700	31,700	\$0	0.00%
34103	Zoning & Subdivision Fees	2,500	2,500	\$0	0.00%
34104	Plan Check Fee	80,000	65,000	-\$15,000	-18.75%
34107	Title Searches	2,500	2,500	\$0	0.00%
34110	Arena	15,093	15,546	\$453	3.00%
34112	Electric Franchise Fee	130,000	134,700	\$4,700	3.62%
34113	Franchise Fee - Cable	60,000	50,000	-\$10,000	-16.67%
34114	Gas Franchise	190,000	168,000	-\$22,000	100.00%
34202	Fire Protection Contract Charges	589,923	714,498	\$124,575	21.12%
34780	Rental Fees	15,000	17,000	\$2,000	13.33%
34950	Other Revenues	20,000	25,000	\$5,000	25.00%
102	Capital Levy	2,028,138	2,344,018	\$315,880	15.57%
Total Revenues		6,513,524	6,897,357	\$383,833	5.89%

General Fund Department Expenditures:		2024 Budget	2025 Budget	Difference 24 to 25 \$	Difference 24 to 25 %
41000	General Government	70,000	80,000	\$10,000	14.29%
41100	Council	58,128	58,128	\$0	0.00%
41300	Combined Administrator/Engineer	199,256	208,949	\$9,693	4.86%
41400	City Clerk	159,001	167,890	\$8,889	5.59%
41440	Elections	27,000	27,000	\$0	0.00%
41500	Finance	139,691	148,881	\$9,190	6.58%
41550	City Assessor	52,000	50,000	-\$2,000	-3.85%
41600	City Attorney	30,000	30,000	\$0	0.00%
41700	City Engineer	35,000	35,000	\$0	0.00%
41800	Economic Development	13,000	5,000	-\$8,000	-61.54%
41910	Planning & Zoning	56,507	61,507	\$5,000	8.85%
41940	City Hall	172,268	171,882	-\$386	-0.22%
42000	Fire Department	685,992	723,401	\$37,409	5.45%
42110	Police	1,216,246	1,237,746	\$21,500	1.77%
42400	Building Department	329,445	317,487	-\$11,958	-3.63%
42700	Animal Control	12,000	8,000	-\$4,000	-33.33%
43100	Public Works - Streets	494,290	490,876	-\$3,414	-0.69%
45000	Culture & Recreation	95,167	90,846	-\$4,321	-4.54%
45100	Parks & Recreation	529,074	526,745	-\$2,329	-0.44%
43160	Electric street lights	111,320	114,000	\$2,680	2.41%
102	Capital 102	2,028,138	2,344,018	\$315,880	15.57%
Total Expenditures		6,513,524	6,897,356	\$383,832	5.89%

Levy	2024	2025		Difference 24 to 25 %
General Fund & EDA	2,744,776	2,721,294		-0.86%
Capital Levy	2,028,138	2,344,018		15.57%
Total Tax Levy (Oper. Levy)	4,772,914	5,065,312		6.13%
102/601 Go Sewer Revenue 2019A	218,156	220,781		
359 City Hall 05 2012B	261,699	261,043		
358 PW Facility 04 2011C	102,302	0		
601 GO Sewer Revenue 2023	114,000	220,302		
468 I-94	53,000	53,000		
Total Debt Service Levy	749,157	755,126	Debt Levy	0.80%
Total Levy	5,522,071	5,820,438	Total Levy	5.40%

**CITY OF ALBERTVILLE
COUNTY OF WRIGHT
STATE OF MINNESOTA**

RESOLUTION NO. 2024-25

**A RESOLUTION ADOPTING THE
2024 TAX LEVY COLLECTIBLE IN 2025**

BE IT RESOLVED by the Council of the City of Albertville, County of Wright, Minnesota, that the following sums of money be levied for the current year, collectible in 2025, upon taxable property in the City of Albertville for the following purposes:

Total Levy \$5,820,438

The City Clerk is hereby instructed to transmit a certified copy of this Resolution to the County Auditor of Wright County, Minnesota.

Adopted by the City Council of the City of Albertville this 3rd day of September 2024.

Jillian Hendrickson, Mayor

ATTEST:

Kristine A. Luedke, City Clerk

**CITY OF ALBERTVILLE
COUNTY OF WRIGHT
STATE OF MINNESOTA**

RESOLUTION NO. 2024-26

A RESOLUTION ADOPTING THE 2025 PRELIMINARY BUDGET

WHEREAS, the City Council of the City of Albertville has adopted a proposed budget;
and

WHEREAS, the Albertville City Council has adopted a preliminary tax levy to be placed upon the taxable property in the City of Albertville; and

WHEREAS, the Albertville City Council desires to reserve within the General Fund those monies designated as capital outlays within various budget classifications, such that those monies can be disbursed only for those capital outlays so specified within the budget.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Albertville, Minnesota:

1. The attached budget is hereby adopted as the preliminary budget for the City of Albertville for the period January 1, 2025 through December 31, 2025.
2. All monies designated within the budget as capital outlays shall be reserved within the Capital Reserves Fund, such that those monies can be disbursed only for those capital outlays so specified within the budget.
3. The Albertville City Council has hereby complied with Minnesota Statutes.
4. The Finance Director is hereby authorized to transmit certification of compliance with Minnesota Statutes to the Commissioner of Revenue as required.

Adopted by the City Council of the City of Albertville on this 3rd day of September 2024.

Jillian Hendrickson, Mayor

ATTEST:

Kristine A. Luedke, City Clerk

September 3, 2024

**SUBJECT: PLANNING – CONDITIONAL USE PERMIT FOR DETACHED
ACCESSORY BUILDING AT 11760 57th STREET IN ALBERTVILLE**

RECOMMENDATION: It is respectfully requested that the Mayor and Council consider the following:

MOTION TO: Adopt Resolution No. 2024 -27 approving a request for a conditional use permit for a 194 sq. ft. detached accessory building at 11780 57th Street within the City of Albertville.

BACKGROUND: Mr. Larry Frase has submitted a development application requesting a conditional use permit to allow a detached accessory building along with their existing attached garage that is 192 square feet in floor area. His property at 11760 57th Street is zoned R-1 Single Family Zoning District which allows a for a second accessory building in addition to the attached garage in excess of 150 square feet by conditional use permit.

City Staff has reviewed the applications and submission materials and prepared the August 1, 2024, Planning Report.

The Albertville Planning Commission held a public hearing to consider the development application and staff reports on August 14, 2024. Upon conclusion of the public hearing, the Planning Commission recommended approval of the development application with the conditions outlined in the August 1, 2024, Planning Report.

KEY ISSUES:

- The property at 11760 57th Street is zoned R-1 Single Family district. Within the R-1 district it allows for each lot to have an attached garage and a second detached shed. Sheds up to 150 sq. ft. are allowed administratively. Sheds larger than 150 sq. ft. may be allowed by conditional use permit.
- The property at 11760 57th Street is 90 feet wide and 153 feet deep. The lot exceeds the minimum R-1 lot area requirements.
- The property at 11760 57th Street backs onto the railroad right-of-way. The rear yard provides isolation away from other lots.
- The proposed location of the shed will meet the R-1 Accessory building setbacks.
- The proposed shed will meet the R-1 Accessory building height requirements.
- The proposed building will be 194 sq. ft. in floor area, 44 sq. ft. over the 150 sq. ft. allowed limit.
- The August 1, 2024, Planning Report outlines the conditions that are recommended for the approval of the 194 sq. ft. shed at 11760 57th Street. These conditions have been reviewed and recommended for approval by the Albertville Planning Commission.

POLICY/PRACTICES CONSIDERATIONS: The Albertville Planning Commission held a public hearing on August 14, 2024, and agreed with the recommendations outlined in the August 1, 2024, Planning Report. Upon closing the public hearing, the Planning Commission

recommended that the City Council approve the Frazee conditional use permit to allow a 194 sq. ft. shed at the 11760 57th Street subject to the conditions outlined in the attached resolution.

FINANCIAL CONSIDERATIONS: All required improvements shall be the responsibility of the developer.

LEGAL CONSIDERATIONS: The requested Frazee conditional use permit application required public hearing before the Planning Commission and final approval by the City Council per the Albertville zoning code.

Responsible Person: Alan Brixius, City Planner

Submitted Through: Adam Nafstad, City Administrator-PWD

Attachments:

- August 1, 2024, Planning Report and Exhibits
- Resolution No. 2024-27

PLANNING REPORT

TO: Adam Nafstad
FROM: Alan Brixius
DATE: August 1, 2024
RE: Frase – CUP Oversized Accessory Building
FILE NO: 163.06 24.04

BACKGROUND

Mr. Larry Frase has submitted a development application requesting a conditional use permit to allow a detached accessory building along with their existing attached garage that is 192 square feet in floor area. His property at 11760 57th Street is zoned R-1 Single Family Zoning District which allows for a second accessory building in addition to the attached garage in excess of 150 square feet by conditional use permit. The following analysis compares Mr. Frase’s request against the conditional use permit for an oversized shed.

EXHIBITS

- Exhibit A: Shed detail
- Exhibit B: Site plan

ANALYSIS

Zoning: The property at 11760 57th Street NE. is zoned R-1 Single Family zoning district. The lot is oversized when compared to the R-1 zoning district standards, 90 feet wide and 153 feet deep. The site abuts the railroad to the north. The lot size and surrounding land uses will allow the larger shed to fit within the neighborhood

Accessory Building Requirements. The following rules apply to accessory buildings (sheds) in the R-1 district.

Setbacks: Accessory buildings must be located in the rear yard and meet the following setbacks.

Accessory Buildings shall be located in the rear yard and meet the following setbacks. Rear Yard but not less than ten feet (10'). Side Yard: As required by zoning district. The R-1 district setback is ten (10') feet.

Comment: The submitted site plan meets the required setbacks.

Number of buildings: No more than two (2) accessory storage buildings or garages shall be allowed on one or more single-family lots under common ownership. One attached garage and one shed is permitted.

Comment: If a second building already exists, it must be removed with the construction of the new building.

Building size: A second accessory storage building may not exceed one hundred fifty (150) square feet in floor area, when accompanied by an attached garage on the same lot, except by conditional use permit. A detached accessory building in an R-1 zoning district may not exceed 16 feet in height. The building height is measured between the ground to the midpoint between the eave and the peak of the roof.

Comment: The proposed building is 12' x 16' or 192 sq. ft. in floor area. This size shed will require a CUP. The building height appears to meet the Code requirements.

Building Type Standards:

1. The same or similar quality "exterior building material" (meaning exterior finish and color) shall be used in the accessory building and in the principal building.
2. All accessory buildings shall also be compatible with the principal building on the lot. "Compatible" means that the exterior appearance of the accessory building is not different from the principal building from an aesthetic and architectural standpoint, as to cause:

Comment: The shed shall be constructed with material and color to match the house.

Conditional Use Permits: Application for a conditional use permit under this section shall be regulated by chapter 400 of this ordinance. Such a conditional use permit may be granted; provided the following are met:

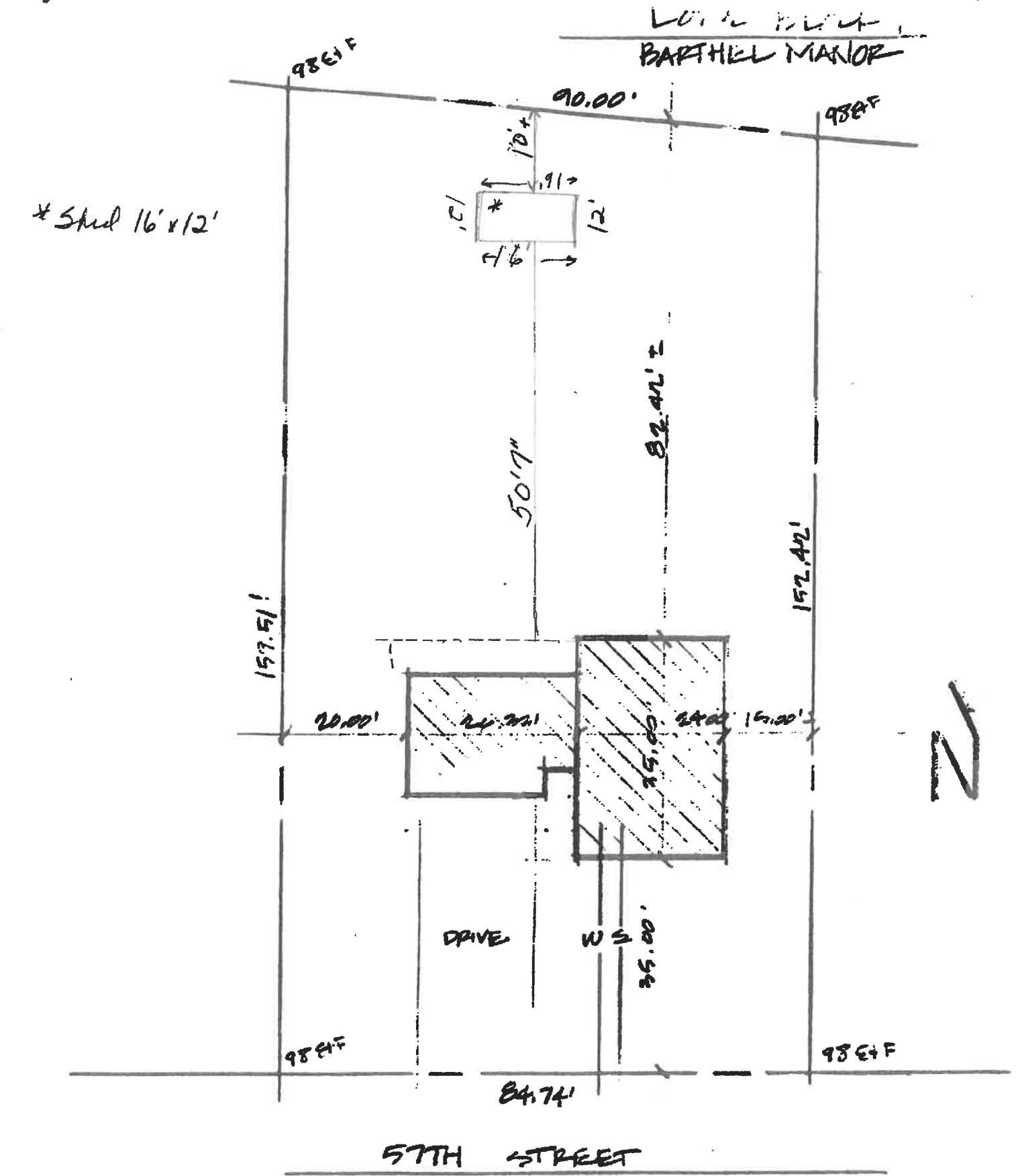
1. There is a demonstrated need and potential for a continued use of the structure and the purpose stated.
2. The building has an evident reuse or function related to the principal use.
3. Accessory building shall be maintained in a manner that is compatible with the adjacent residential uses and does not present a hazard to public health, safety, and general welfare.
4. For conditional uses for a second accessory building exceeding one hundred fifty (150) square feet in floor area in the R-1A, R-1, R-2, R-3, or R-4 zoning districts, the accessory building shall not occupy more than twenty five percent (25%) of a rear yard and/or the cumulative floor area of all accessory buildings on the lot and shall not exceed ten percent (10%) of the minimum lot area standard of the respective district.
5. The accessory building will not be used for a commercial use or home occupation.

Comment: In discussion with the property owner, the building size is needed for personal storage related to the residential use of the house. The building meets these CUP requirements.

CONCLUSION

In review of the requested conditional use permit for 192 sq. ft. at 11760 57th Street NE shed we recommend approval with the following conditions.

1. The shed shall have a color and exterior building to match the house.
2. The shed shall not be used for commercial and or home occupation.



11760 57th Street NE
 Larry & Karen Frase

SCALE - 1" = 20'-0"

5

YEAR LIMITED WARRANTY

THE SUNDANCE SERIES® TR-800

The 8' sidewall height allows for more overhead room and a taller 4'x6'7" door, placed on any wall. Can accommodate porch upgrade.

- 2x6 Galvanized Steel Foundation
- 4'x6'7" Steel Reinforced Tuff Shed® Door
- Endwall or Sidewall Door Placement
- 7'8" Clear Interior Sidewall Height
- 16" On Center 2x4 Wall Framing
- 6" Block Sidewall Eave

Shown with optional upgrades, including paint, windows, shutters, double door, door trim and in-door transom upgrades.



5

YEAR LIMITED WARRANTY

THE SUNDANCE SERIES® TB-800

Maximize your storage space with another foot of sidewall height and more overhead room. The 8' sidewalls allow for a 4'x6'7" door placed on any wall. This model can also accommodate porch and 2nd Floor upgrades (see info below). Shown here with paint upgrade.



**CITY OF ALBERTVILLE
COUNTY OF WRIGHT
STATE OF MINNESOTA**

RESOLUTION NO. 2024-27

**RESOLUTION APPROVING A REQUEST FOR A CONDITIONAL USE PERMIT FOR
A 194 SQUARE FOOT DETACHED ACCESSORY BUILDING AT 11760 57TH STREET
WITHIN THE CITY OF ALBERTVILLE**

WHEREAS, Larry Frase has requested a conditional use permit to allow a 194 sq. ft. detached accessory building at 11760 57th Street in Albertville; and

WHEREAS, City Staff has reviewed submitted plans and prepared a planning report dated August 1, 2024; and

WHEREAS, the Albertville Planning Commission met and held a public hearing on August 14, 2024, to consider the applications from Larry Frase requesting an oversized 194 sq. ft. detached accessory building 11760 57th Street in Albertville; and

WHEREAS, upon considering the application materials, the August 1, 2024, Planning Report and public testimony, the Planning Commission closed the public hearing and recommended that the City Council approve the requested application for a conditional use permit to allow a 194 sq. ft. detached accessory building at 11760 57th Street with the findings and conditions outlined in the August 1, 2024, Planning Report; and

WHEREAS, upon considering the application materials, the August 1, 2024, Planning Report and the recommendations of the Planning Commission, the City Council agrees with the findings and recommendations of City Staff and the Planning Commission.

NOW, THEREFORE BE IT RESOLVED, that the City Council of Albertville, Minnesota hereby approves the conditional use permit allow for the construction of a 194 sq. ft. detached accessory building at 11760 57th Street in Albertville with the following conditions.

1. The shed shall have a color and exterior building to match the house.
2. The shed shall not be used for commercial and or home occupation.

Adopted by the City Council of the City of Albertville on this 3rd day of September 2024.

Jillian Hendrickson, Mayor

ATTEST:

Kristine A. Luedke, City Clerk

September 3, 2024

SUBJECT: PLANNING – ALBERTVILLE PLAZA – GRAVITY DANCE STUDIO APPLICATIONS

RECOMMENDATION: It is respectfully requested that the Mayor and Council consider the following:

MOTION TO: Adopt Resolution No. 2024-28 approving requests for Gravity Dance Studio PUD Development Site and Building Plans for Lot 2, Block 1, Albertville Plaza 2nd Addition to allow for the construction a 9,544 sq. ft. Commercial Building containing a 7,000 sq. ft. Dance Studio and 2,544 sq. ft. Commercial Tenant Bay within the City of Albertville.

BACKGROUND: Gravity Dance Studio has requested Planned Unit Development (PUD) Stage Site and Building Plan approval to allow the construction of a 9,544 square foot commercial building containing a 7,000 sq. ft. dance studio and a 2,544 sq. ft. commercial tenant bay upon a 2.0-acre undeveloped site described as Lot 2, Block 1 of the Albertville Plaza 2nd Addition.

The site is zoned PUD, Planned Unit Development/B-3, Highway Commercial. The PUD zoning designation was applied at the time of platting to allow the construction of private streets within the subdivision.

City Staff has reviewed the applications and submission materials and prepared the August 2, 2024, Planning Report.

The Albertville Planning Commission held a public hearing to consider the development application and staff reports on August 14, 2024. Upon conclusion of the public hearing, the Planning Commission recommended approval of the development application with the conditions outlined in the August 2, 2024, Planning Report.

KEY ISSUES:

- The Albertville Plaza 2nd Addition was approved as a B-3/PUD to allow for a subdivision with access via a private street. The new application proposes a 9,544 sq. ft. commercial building containing a 7,000 sq. ft. dance studio and 2,544 sq. ft. commercial tenant bay.
- The site is zoned B-3. The proposed dance studio is a commercial recreation land use. Both the dance studio and the commercial tenant bay are permitted uses within the B-3 zoning district.
- The Gravity Dance Studio project is required to be a member of the Albertville Plaza Business Association to manage, maintain and repair of the private shared street.
- Lot 2, Block 1, Albertville Plaza 2nd Addition meets the lot area and width requirements of the B-3 zoning district. The building's location meets all the setbacks of the B-3 district.

- The proposed Gravity Dance Studio commercial building meets the City’s B-3 district architectural standards.
- The August 2, 2024, Planning Report outlines the conditions that are recommended for approval of the amended PUD Site and Building plans. These conditions have been reviewed and recommended for approval by the Albertville Planning Commission.

POLICY/PRACTICES CONSIDERATIONS: The Albertville Planning Commission held a public hearing on August 14, 2024, and agreed with the recommendations outlined in the August 2, 2024, Planning Report. Upon closing the public hearing, the Planning Commission recommended that the City Council approve the Gravity Dance Studio development applications for a PUD development stage site and building plans based on architectural plans dated July 4, 2024, Civil plans dated July 11, 2024, and landscape plan dated June 16, 2024 for Lot 2, Block 1, Albertville Plaza 2nd Addition subject to the conditions outlined in the attached resolution.

FINANCIAL CONSIDERATIONS: All required on-site and off-site improvements shall be the responsibility of the developer.

LEGAL CONSIDERATIONS: The requested Gravity Dance Studio application required a public hearing before the Planning Commission and final approval by the City Council per the Albertville zoning code.

Responsible Person: Alan Brixius City Planner

Submitted Through: Adam Nafstad, City Administrator-PWD

Attachments:

- August 2, 2024, Planning Report and Exhibits
- Resolution No. 2024-28

PLANNING REPORT

TO: Adam Nafstad
FROM: Alan Brixius
DATE: August 2, 2024
RE: Gravity Dance Studio – Albertville Plaza 2nd Addition PUD
FILE NO: 163.06 24.05

BACKGROUND

Gravity Dance Studio has requested PUD Development Stage Site and Building Plan approval to allow the construction of a 9,176 square foot dance studio upon a 2.0-acre undeveloped site located southwest of the intersection of County Road 37 NE and County Road 19 NE. Specifically, the subject site occupies Lot 2, Block 1 of the Albertville Plaza 2nd Addition.

The site is zoned PUD, Planned Unit Development/B-3, Highway Commercial. The PUD zoning designation was applied at the time of platting to allow the construction of private streets within the subdivision.

EXHIBITS

- Exhibit A: Approved Albertville Plaza PUD Concept Plan
- Exhibit B: Site and Utility Plan
- Exhibit C: Grading and Erosion Control Plan
- Exhibit D: Landscape Plan
- Exhibit E: Lighting Plan
- Exhibit F. Building Floor Plan
- Exhibit G. Building Elevations
- Exhibit H. Building Renderings

ANALYSIS

Land Use: As noted, the subject site is zoned PUD, Planned Unit Development/B-3, Highway Commercial. Within the B-3 zoning district “recreational businesses” including dance schools are permitted uses.

Lot Area: The subject site was platted as Albertville Plaza 2nd Addition subdivision. The site measures 2.02 acres in size and is presently undeveloped. The subject size meets applicable dimensional requirements imposed in the B-3 district.

Setbacks: The following table illustrates that the footprint of the building, and associated parking area meet applicable setback requirements. The building and parking lot meet all the required setbacks.

	Required	Proposed	Compliant
Structure Setbacks			
Front (North) (from private street)	25 feet	290 feet	Yes
Side (East) (from private street)	20 feet	22 feet	Yes
Side (West)	35 feet (abuts an R district)	40 feet	Yes
Rear (South)	20 feet	20 feet	Yes
Parking Setbacks			
Front (North) (from private street)	10 feet	80 feet	Yes
Side (East) (from private street)	10 feet	12 feet	Yes
Side (West)	10 feet (abuts an R district)	15 feet	Yes
Rear (South)	NA	NA	Yes

Access: Site access will be via a private street that runs through the Albertville Plaza 1st, 2nd, and ultimately 3rd Additions. As a condition of site and building plan approval, the property owner shall be required to be a member of a business property owners' association for the subdivision which is responsible for the maintenance and upkeep of the common elements including, but not limited the private streets, streetlights and the shared stormwater ponds.

The subject site is to be accessed from the east via two curb cut locations each measuring 22 feet in width meeting code.

Off-Street Parking:

Parking Supply. The Albertville Zoning Code does not have a parking standard specifically for “dance studios.”

According to an American Planning Association reference document entitled “Off-Street Parking Requirements” however, the following parking supply standard is recommended for “dance school” uses:

One space per four students (at maximum dance school capacity)

The submitted site plan illustrates 56 off-street parking stalls, three of which are accessible stalls. In addition, 10 “proof of parking” stalls are illustrated along the northern boundary of the parking lot. Thus, a maximum of 66 stalls can be available to accommodate the off-street parking demand generated by the proposed use. Based on the occupancy loads identified on the floor plan the 56 stalls will be

sufficient to meet the needs of the dance studio. If the parking demand exceeds the available supply the proof of parking stall must be constructed. If parking occurs outside of approved parking stalls or on the private street the City will mandate the construction of the proof of parking stalls.

Dimensional Requirements. All parking stalls and drive aisles have been found to meet the minimum dimensional requirements of the Ordinance (9 feet wide and 20 feet in length with drive aisle widths not less than 24 feet).

Accessible Parking. In accordance with minimum ADA standards, the illustrated parking lot includes three disability parking stalls. As a condition of site and building plan approval, the disability stalls must include proper signage.

Loading: The proposed building will contain both the dance studio and another retail tenant space. As part of plan review, the site must have adequate area within the parking lot to accommodate turning maneuvers of oversized vehicles including garbage and delivery trucks.

While the curb cut locations and widths are considered acceptable for dance studio patron vehicles, some concern exists whether such width and related turning radii will be able to accommodate turning maneuvers of oversized service vehicles. As a condition of site and building plan approval, the applicant must demonstrate, to the satisfaction of the City, an ability to accommodate trash handling and delivery vehicles on the site by superimposing truck movements through the site plan.

Trash: As shown on the submitted site plan, a detached trash handling enclosure is proposed near the northwest corner of the dance studio building. The applicant shall be required to provide a detail of the trash enclosure demonstrating that its exterior finish materials match or complement the principal building.

Landscaping: As required, a landscape plan has been submitted for review. In total, the landscape plan calls for a total of 133 new plantings on the site. The majority of proposed site plantings are located along the subject site's western boundary which abuts single family residential uses. In this regard, the plantings are intended to provide a screen between the residential uses and higher intensity dance studio use.

Additional plantings are proposed along the site's eastern boundary (alongside the private street), north and south of the dance studio building, and within the parking lot.

Also of note is that seed mix is proposed to be located around the periphery of the stormwater pond (located near the subject site's northern boundary).

The location and variety of proposed site plantings are considered satisfactory, some concern exists in regard to the immediate effectiveness of the screen plantings proposed along the site's western boundary. According to the landscape plan, 24 Nannyberry Viburnum plantings are proposed along the west property line. The Nannyberry Viburnum must be shrubs rather than trees to be an effective screen. With the Viburnum being of a #10 container size they will be immediately effective in screening the parking lot.

Grading and Drainage: Appropriately, a grading and erosion control plan has been submitted for review. The plan shall be subject to review and approval by the City Engineer.

Utilities: The provided utility plan has been superimposed on the submitted site plan. The utility plan shall be subject to review and approval by the City Engineer. The Utility plan must provide separate potable water and fire suppression services entering the building.

Lighting: According to the submitted lighting plan, two freestanding light fixtures are proposed within the parking lot curb islands and nine wall mounted fixtures are proposed along the perimeter of the dance studio building. The photometric plan illustrates that proposed light levels are compliant with City code requirements.

As a condition of site and building plan approval, all lighting must be hooded at 90 degrees and luminaries must not extend beyond the 90-degree cutoff (such that light sources are not visible from neighboring streets and properties). Further, the freestanding light fixtures may not exceed the maximum 30-foot height requirement of the Ordinance.

Building Design: The building exterior elevations is a combination of LP siding and Smart Panels, manufactured Stone veneer of various colors and textures resulting in an attractive commercial building. The building elevations comply with the B-3 district architectural standards.

CONCLUSION

Based on the preceding review, Staff recommends approval of PUD Development Stage Site and Building Plans subject to the following conditions:

1. The property owner shall be required to be a member of a business property owners' association for the subdivision which is responsible for the maintenance and upkeep of the common elements including, but not limited the private streets, streetlights and the shared stormwater ponds
2. The site plan shall demonstrate truck turning movements to accommodate trash handling and delivery vehicles moving through the site.
3. The City retains the right to require the proof of parking stalls be constructed if parking occurs outside of approved parking stalls or on the private street.
4. Disability parking stalls shall include proper signage.
5. The applicant shall be required to provide a detail of the trash enclosure demonstrating that its exterior finish materials match or complement the principal building.
6. The Nannyberry Viburnum must be shrubs rather than trees to be an effective screen.
7. The grading and erosion control plan shall be subject to review and approval by the City Engineer.

8. The utility plan shall be subject to review and approval by the City Engineer.
9. Applicant shall provide details on the exterior light fixture. All lights must be 90 degree cutoff fixtures with shielded light source to prevent glare toward the residential properties.
10. Freestanding light fixtures shall not exceed the maximum 30-foot height requirement of the Ordinance.

Cc. Maeghan Becker
Kris Luedke
Mike Couri
Kevin Benshoof
Ryland Rosenlund

**ALBERTVILLE
PLAZA**

CITY OF



MINNESOTA

OWNER
ALBERTVILLE PLAZA LLC

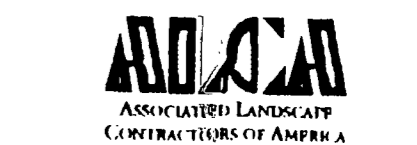
75 WEST VIKING DRIVE, SUITE 104
LITTLE CANADA, MINNESOTA 55117
PHONE (651) 484-0636
FAX (651) 484-0701

DEVELOPER
RJ MARCO CONSTRUCTION, INC.

75 WEST VIKING DRIVE, SUITE 104
LITTLE CANADA, MINNESOTA 55117
PHONE (651) 484-0636
FAX (651) 484-0701

**Margolis
Company**

Landscape Contractors
255 West Larpent Street 612/488-7258
Rossville, Minnesota 55113
Fax 612/488-0533



ASSOCIATED LANDSCAPE ARCHITECTS
CENTRAL ILLINOIS CHAPTER

REVISIONS

NO.	DATE	DESCRIPTION
1	5-5-06	ISSUE FOR PERMIT
2	7-27-06	CITY REVISIONS

QUALITY MANAGEMENT REVIEW

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

QUALITY MANAGEMENT REVIEW

NO.	DATE	DESCRIPTION

QUALITY MANAGEMENT REVIEW

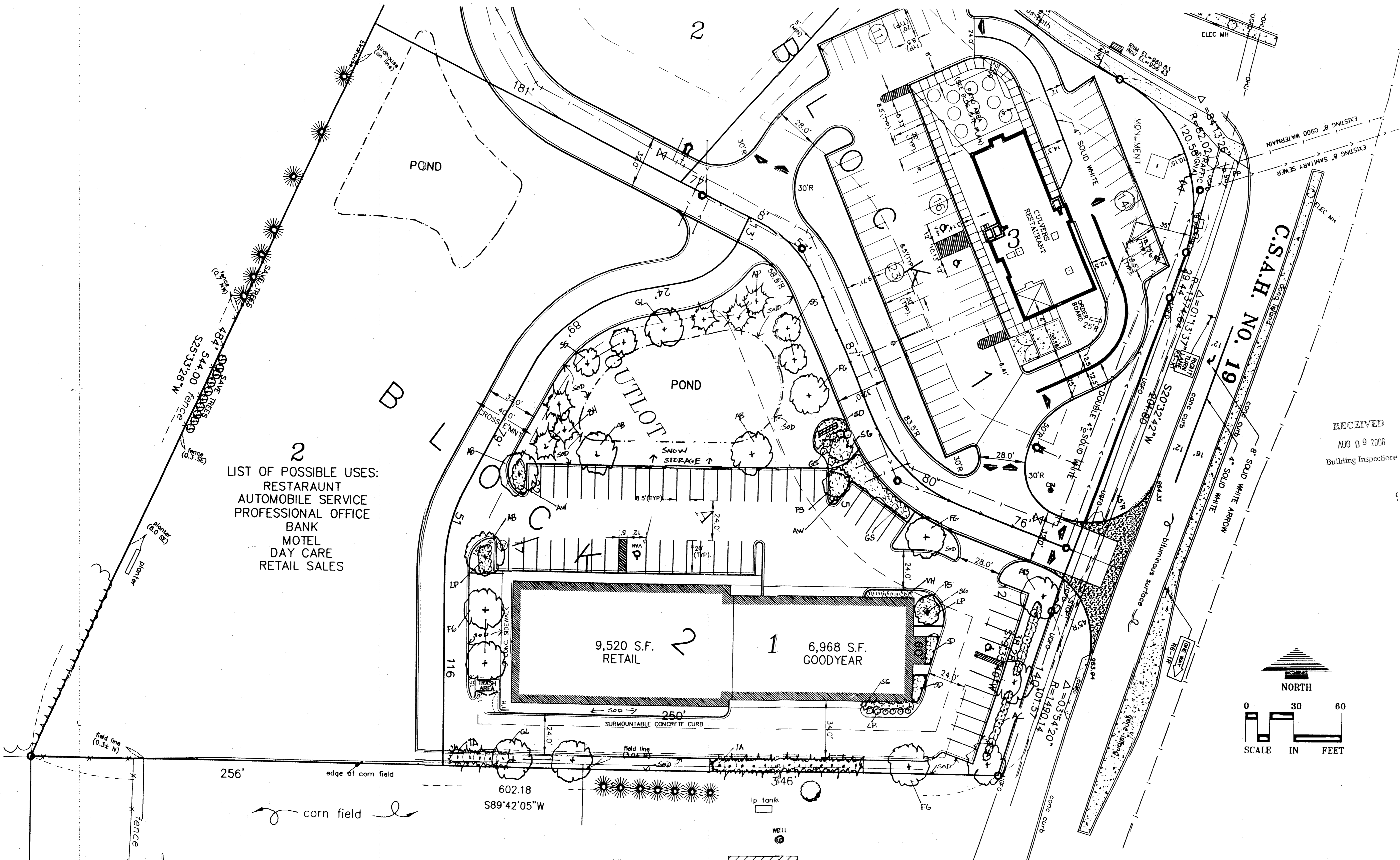
NO.	DATE	DESCRIPTION

**Lowcks
ASSOCIATES**

Planning • Civil Engineering • Land Surveying
Professional • Architecture

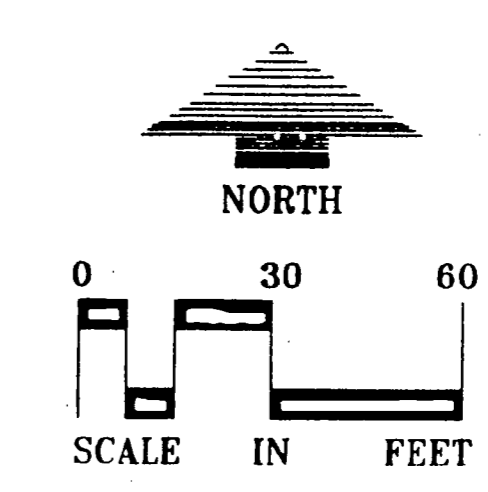
L-1

PROJECT NO. _____



- LIST OF POSSIBLE USES:**
- RESTAURANT
 - AUTOMOBILE SERVICE
 - PROFESSIONAL OFFICE
 - BANK
 - MOTEL
 - DAY CARE
 - RETAIL SALES

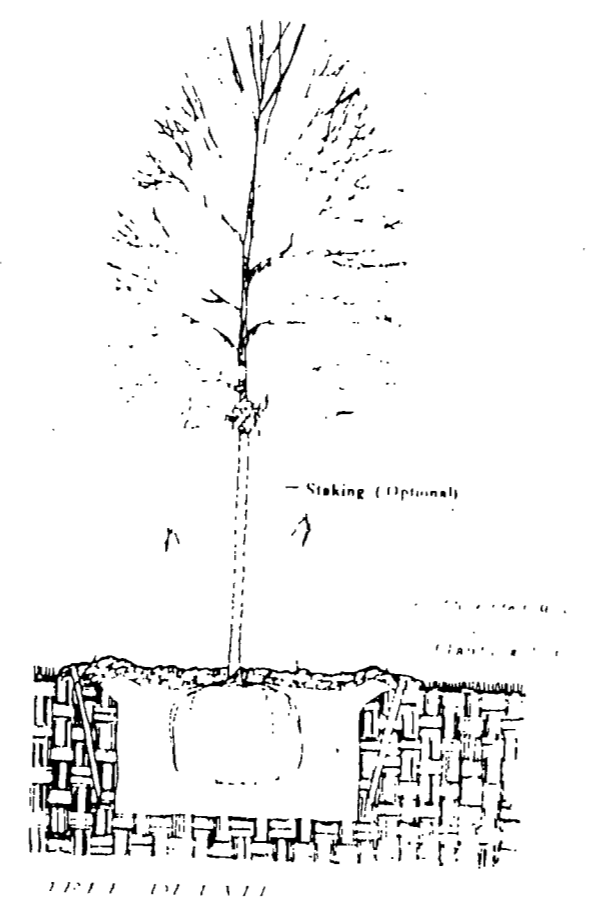
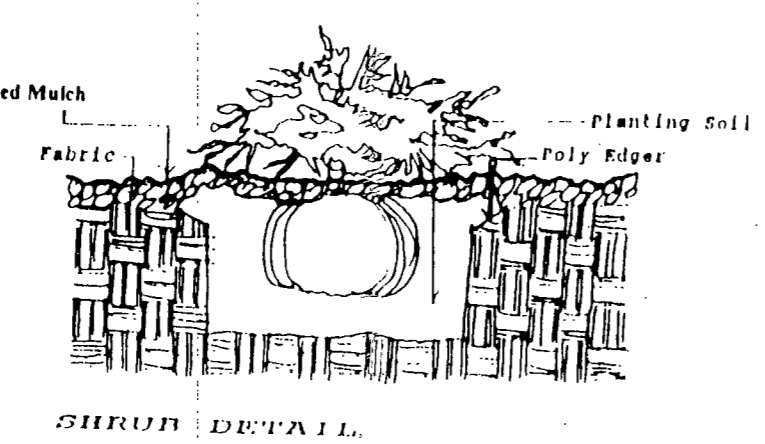
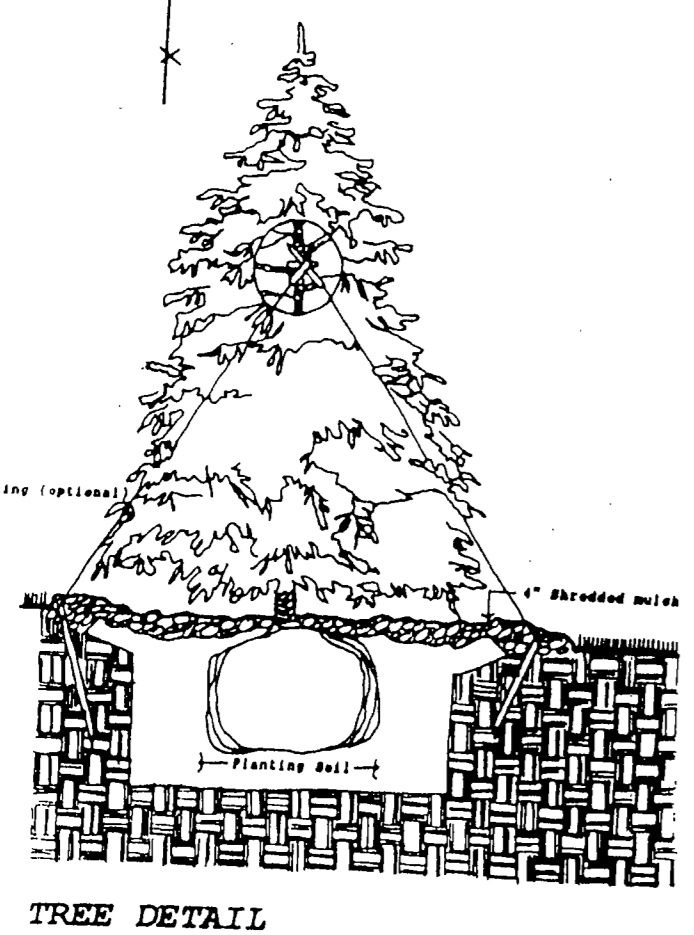
RECEIVED
AUG 9 2006
Building Inspections



PLANT SCHEDULE

KEY	QUAN	MATERIAL	SIZE	TYPE
SS	4	Spring Snow Crab	2"	BB
GL	3	Greenspire Linden	2.5"	BB
FG	5	Fall Gold Ash	2.5"	BB
AB	7	Autumn Blaze Maple	2.5"	BB
BH	3	Black Hill Spruce	6"	BB
AP	3	Austrian Pine	6"	BB
PS	2	Pinkspire Crab	2"	BB
TA	18	Techny Arborvitae	5"	BB
AW	15	Anthony Waterer Spirea	#2	POT
GS	35	Gro-Low Sumac	#2	POT
SG	18	Scandia Juniper	24"	POT
AC	20	Dwf. American Cranberry	24"	POT
SD	43	Stella de Oro Daylily	#1	POT
LP	24	Little Princess Spirea	#2	POT
VH	10	Variegated Hosta	#1	POT

- LANDSCAPE NOTES:**
- Seed disturbed areas unless otherwise noted on plan.
 - All plant materials to be guaranteed for one year from date of completion.
 - Guying of trees is optional. Contractor is responsible to straighten trees if needed during the guarantee period.
 - Wrap applicable trees in fall following planting.
 - All shrub beds to receive fabric & 3" Shredded Mulch. With Alternate for Rock
 - All trees in sod to be mulched Shredded Mulch @ 3" depth.
 - Install Poly Edging where sod abuts planting or maintenance areas.
 - All landscaped areas to be irrigated, per City Requirements. Design to be submitted to owner for approval.
 - Plants to be installed as per Standard ANN practices



GRADING, DRAINAGE & EROSION CONTROL NOTES

- The contractor shall refer to the architectural plans for exact locations and dimensions of buildings, vestibules, sloped paving, exit porches, ramps, truck docks, entry locations and locations of downspouts.
- All disturbed unpaved areas are to receive minimum of 4 inches of top soil and sod or seed. These areas shall be watered by the contractor until the sod or seed is growing in a healthy manner.
- The contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phase of this project. The contractor will be held responsible for any damages to adjacent properties occurring during the construction phase of this project.
- The contractor will be responsible for providing and maintaining traffic control devices such as barricades, warning signs, directional signs, flagmen and lights to control the movement of traffic where necessary. Placement of these devices shall be approved by the engineer prior to placement. Traffic control devices shall conform to the appropriate Minnesota department of Transportation standards.
- In accordance with generally accepted construction practices, the contractor will be solely and completely responsible for conditions on the job site, including safety of all persons and property during the performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- The duty of the engineer or the developer to conduct construction review of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures in, or near the construction site.
- Before beginning construction the contractor shall install a Temporary Rock Entrance pad at all points of vehicle exit from the project site. Said Rock Entrance pad shall be maintained by the contractor for the duration of the project. See details shown on Sheet C8-2 of the project plans.
- Erosion and Sedimentation control measures shall be established around the entire site perimeter and in accordance with NPDES permit requirements, Best Management Practices, City requirements and the details shown on Sheet C- of the project plans.
- All entrances and connections to city streets shall be performed per the requirements of the city. The contractor shall be responsible for all permits and notifications as required by the city.
- See utility plan and storm sewer profiles for further detail regarding the storm sewer.

CALL BEFORE YOU DIG!
Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166



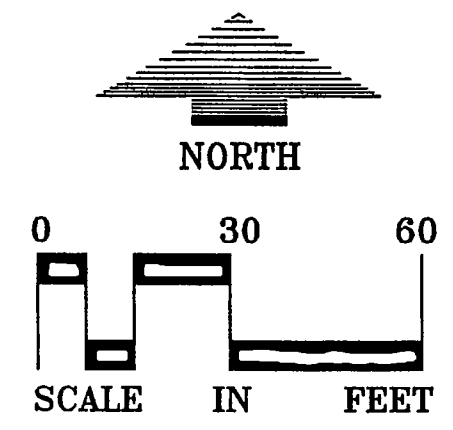
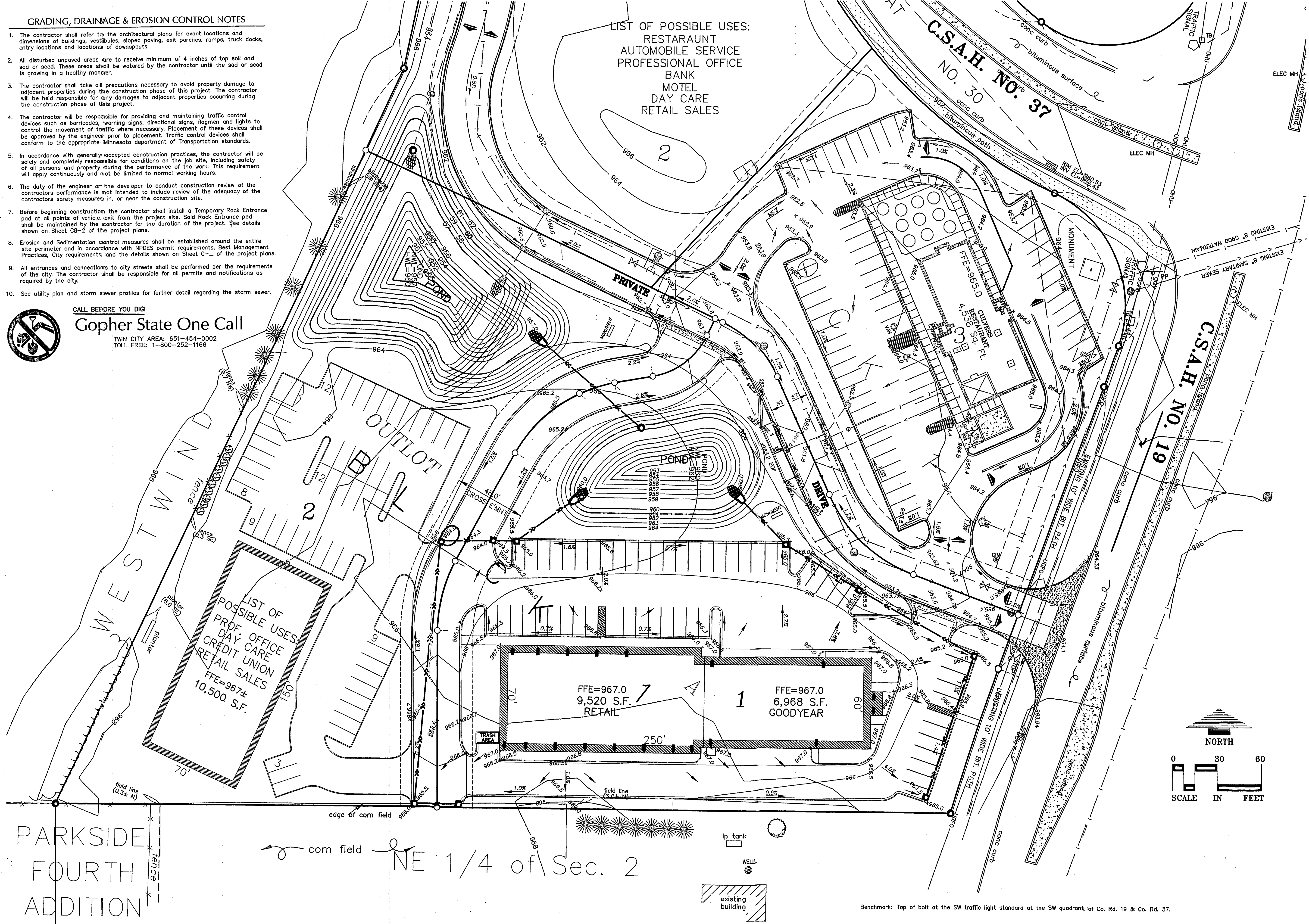
LIST OF POSSIBLE USES:
 RESTAURANT
 AUTOMOBILE SERVICE
 PROFESSIONAL OFFICE
 BANK
 MOTEL
 DAY CARE
 RETAIL SALES

LIST OF POSSIBLE USES:
 PROF. OFFICE
 DAY CARE
 CREDIT UNION
 RETAIL SALES
 FFE=967±
 10,500 S.F.

FFE=967.0
 9,520 S.F.
 RETAIL

1

FFE=967.0
 6,968 S.F.
 GOODYEAR



Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.

**ALBERTVILLE
 PLAZA 2ND
 ADDITION**

CITY OF



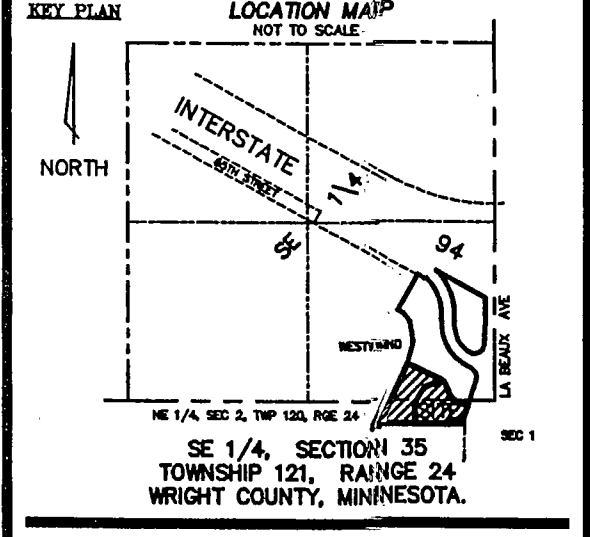
MINNESOTA

**ORDER
 ALBERTVILLE PLAZA LLC**

75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5635
 FAX (651) 484-5701

**DEVELOPER
 RJ MARCO CONSTRUCTION, INC.**

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 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5635
 FAX (651) 484-5701



SHEET INDEX

SHEET	TITLE
CO-1	TITLE SHEET
CI-1	EXISTING CONDITIONS
CO-1	SITE PLAN
CO-3	GRADING, DRAINAGE PLAN
CO-4	UTILITY PLAN
CO-5	STORM WATER POLLUTION PREVENTION PLAN
CO-1	PRELIMINARY PLAN
CO-1	DETAIL SHEET
CO-2	DETAIL SHEET

CADD FILE QUALIFICATION:
 CADD files prepared by the Engineer/Surveyor for this project are the property of the Engineer/Surveyor and their services shall not be used on other projects. In addition to this project the Engineer/Surveyor shall retain the right to use the CADD files for information and reference only. No reproduction or distribution of these files is permitted without the written consent of the Engineer/Surveyor. The Engineer/Surveyor shall not be held liable for any errors or omissions in these files and the user shall hold harmless and indemnify the Engineer/Surveyor from any & all responsibilities, claims and liabilities.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE
 License No. 44613 Date 7-25-06

DATE	REVISION
6-30-06	CITY SUBMITTAL
7-19-06	CITY COMMENTS

QUALITY MANAGEMENT REVIEW
 BY: DATE:

**Loucks
 ASSOCIATES**

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 Environmental • Archeology
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 Telephone: (763) 424-0200 Fax: (763) 424-0222
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GRADING & DRAINAGE PLAN

PROJECT NO.
 99-190F

C3-1

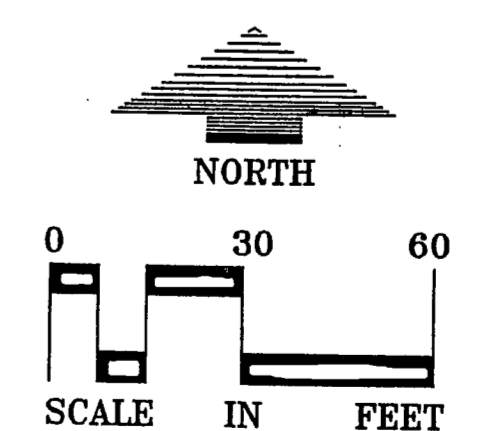
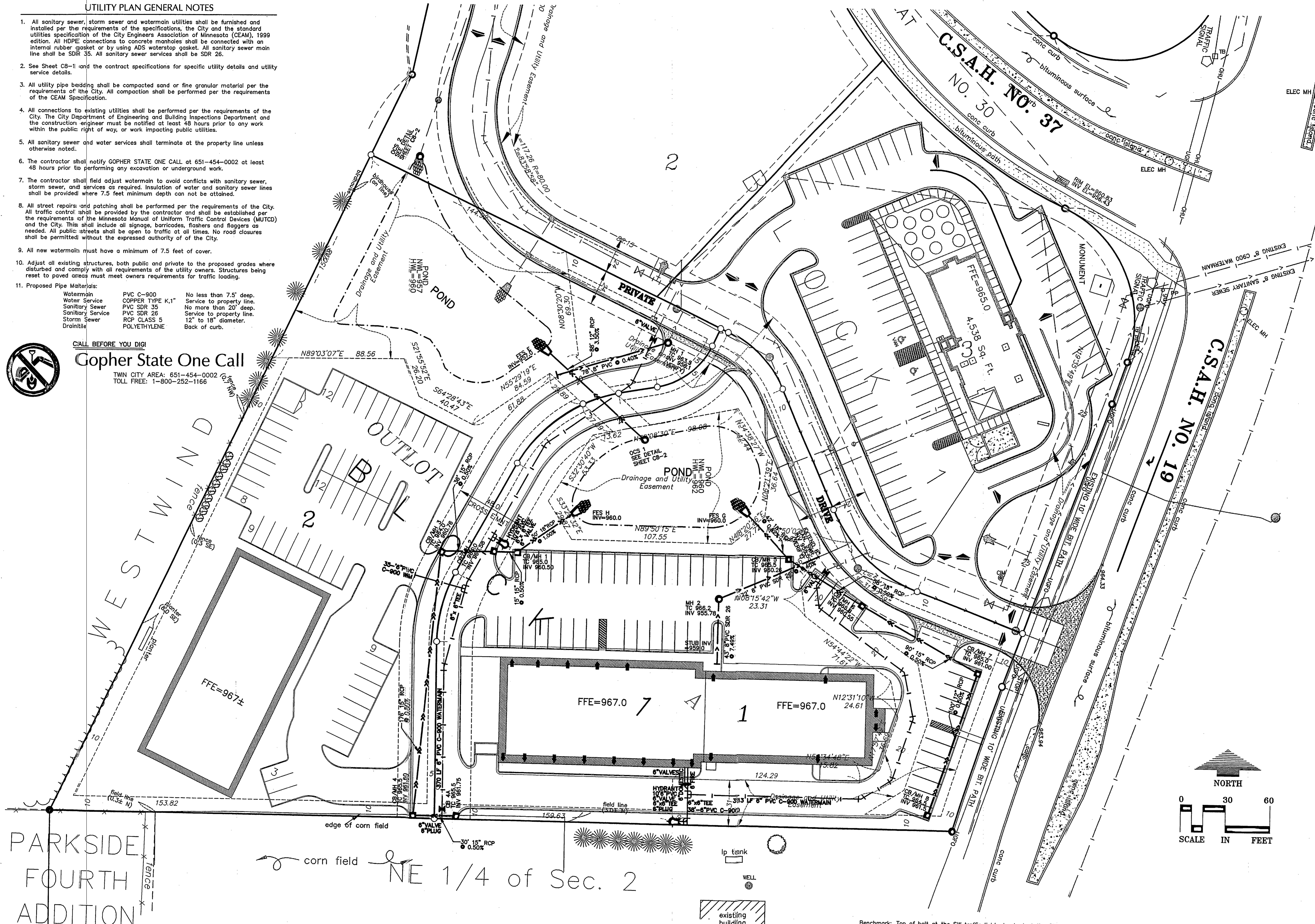
UTILITY PLAN GENERAL NOTES

- All sanitary sewer, storm sewer and watermain utilities shall be furnished and installed per the requirements of the specifications, the City and the standard utilities specification of the City Engineers Association of Minnesota (CEAM), 1999 edition. All HDPE connections to concrete manholes shall be connected with an internal rubber gasket or by using ADS waterstop gasket. All sanitary sewer main line shall be SDR 35. All sanitary sewer services shall be SDR 26.
- See Sheet C8-1 and the contract specifications for specific utility details and utility service details.
- All utility pipe bedding shall be compacted sand or fine granular material per the requirements of the City. All compaction shall be performed per the requirements of the CEAM Specification.
- All connections to existing utilities shall be performed per the requirements of the City. The City Department of Engineering and Building Inspections Department and the construction engineer must be notified at least 48 hours prior to any work within the public right of way, or work impacting public utilities.
- All sanitary sewer and water services shall terminate at the property line unless otherwise noted.
- The contractor shall notify GOPHER STATE ONE CALL at 651-454-0002 at least 48 hours prior to performing any excavation or underground work.
- The contractor shall field adjust watermain to avoid conflicts with sanitary sewer, storm sewer, and services as required. Insulation of water and sanitary sewer lines shall be provided where 7.5 feet minimum depth can not be attained.
- All street repairs and patching shall be performed per the requirements of the City. All traffic control shall be provided by the contractor and shall be established per the requirements of the Minnesota Manual of Uniform Traffic Control Devices (MUTCD) and the City. This shall include all signage, barricades, flashers and flaggers as needed. All public streets shall be open to traffic at all times. No road closures shall be permitted without the expressed authority of the City.
- All new watermain must have a minimum of 7.5 feet of cover.
- Adjust all existing structures, both public and private to the proposed grades where disturbed and comply with all requirements of the utility owners. Structures being reset to paved areas must meet owners requirements for traffic loading.
- Proposed Pipe Materials:

Watermain	PVC C-900	No less than 7.5' deep.
Water Service	COPPER TYPE K, 1"	Service to property line.
Sanitary Sewer	PVC SDR 35	No more than 20' deep.
Sanitary Service	PVC SDR 26	Service to property line.
Storm Sewer	RCP CLASS 5	12" to 18" diameter.
Drainage	POLYETHYLENE	Back of curb.

CALL BEFORE YOU DIG
Gopher State One Call

TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166



Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.

**ALBERTVILLE
 PLAZA 2ND
 ADDITION**

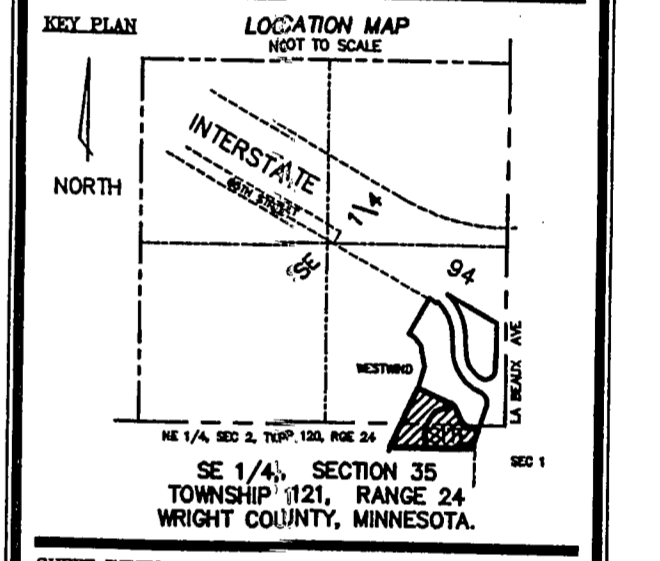
CITY OF



MINNESOTA

OWNER
ALBERTVILLE PLAZA LLC
 75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5685
 FAX (651) 484-5701

DEVELOPER
RJ MARCO CONSTRUCTION, INC.
 75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5685
 FAX (651) 484-5701



SHEET INDEX

CB-1	TITLE SHEET
CI-1	EXISTING CONDITIONS
CS-1	SITE PLAN
CS-1	GRADING, DRAINAGE PLAN
CU-1	UTILITY PLAN
CU-1	STORM WATER POLLUTION PREVENTION PLAN
CU-1	PRELIMINARY PLAT
CU-1	DETAIL SHEET
CU-2	DETAIL SHEET

CADD FILE QUALIFICATION:
 CADD files prepared by the Engineer/Surveyor for this project are the responsibility of the Engineer/Surveyor and shall not be used for any other project. These CADD files shall not be used for any other project without the written approval of the Engineer/Surveyor. The Engineer/Surveyor's approval does not constitute a warranty of any kind. The Engineer/Surveyor shall not be held responsible for any errors or omissions in the CADD files or for any damage or loss of data resulting from the use of these files. The Engineer/Surveyor shall not be held responsible for any damage or loss of data resulting from the use of these files.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE
 License No. 44613 Date 7-25-06

DATE	REVISION
8-30-06	CITY SUBMITTAL
7-19-06	CITY COMMENTS

QUALITY MANAGEMENT REVIEW
 BY: _____ DATE: _____

**Loucks
 ASSOCIATES**

Planning • Civil Engineering • Land Surveying
 Environmental • Architecture
 7700 Bankers Loan, Suite 300, Minneapolis, Minnesota 55426-5602
 Telephone: (763) 421-1000 Fax: (763) 421-1002
 Web Page: loucksassociates.com

UTILITY PLAN

PROJECT NO. 99-190F	C4-1
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GRADING & EROSION CONTROL NOTES:

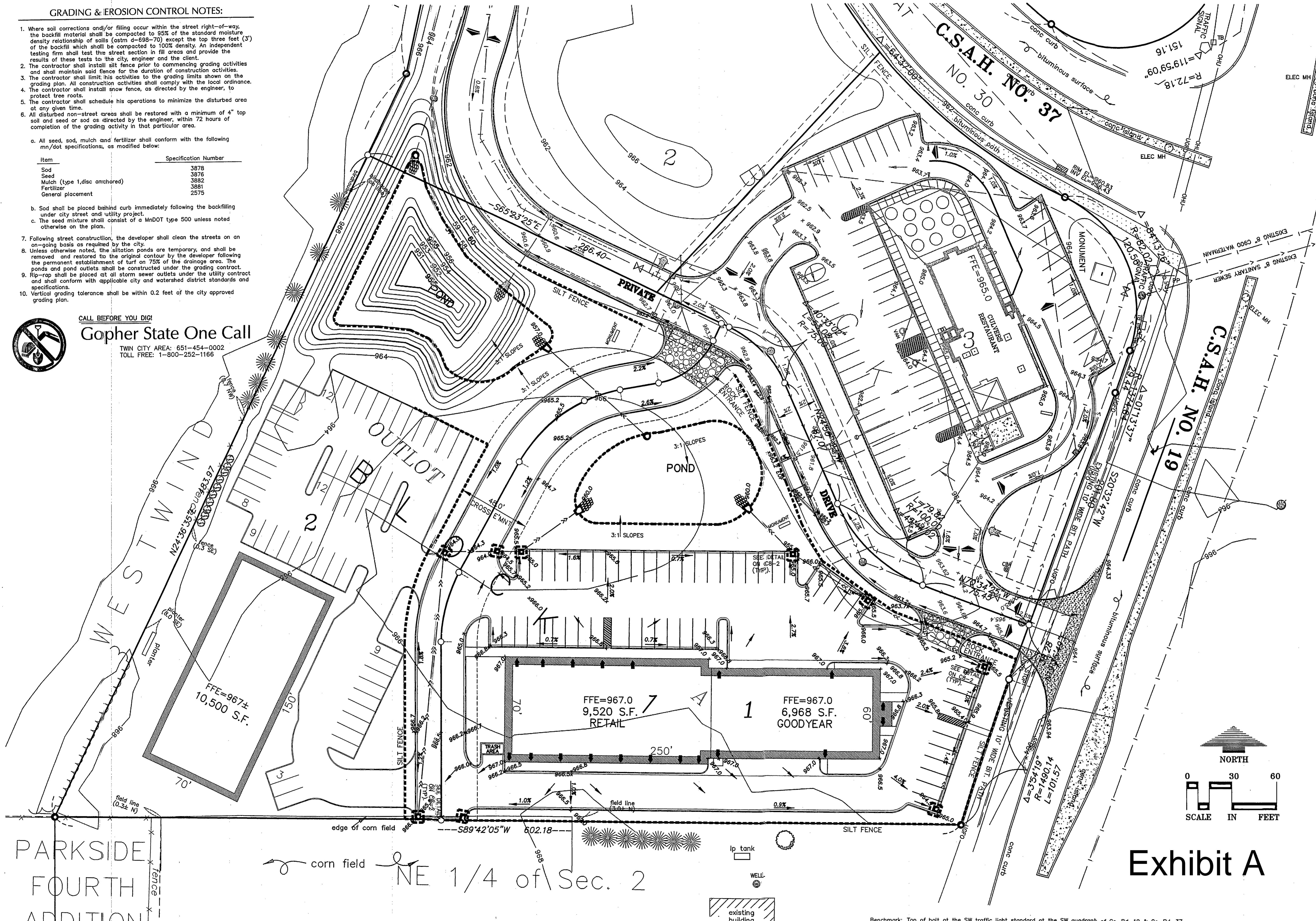
- Where soil corrections and/or filling occur within the street right-of-way, the backfill material shall be compacted to 95% of the standard moisture density relationship of soils (astm d-698-70) except the top three feet (3') of the backfill which shall be compacted to 100% density. An independent testing firm shall test the street section in fill areas and provide the results of these tests to the city, engineer and the client.
- The contractor shall install silt fence prior to commencing grading activities and shall maintain said fence for the duration of construction activities.
- The contractor shall limit his activities to the grading limits shown on the grading plan. All construction activities shall comply with the local ordinance.
- The contractor shall install snow fence, as directed by the engineer, to protect tree roots.
- The contractor shall schedule his operations to minimize the disturbed area at any given time.
- All disturbed non-street areas shall be restored with a minimum of 4" top soil and seed or sod as directed by the engineer, within 72 hours of completion of the grading activity in that particular area.
 - All seed, sod, mulch and fertilizer shall conform with the following mn/dot specifications, as modified below:

Item	Specification Number
Sod	3878
Seed	3876
Mulch (type 1, disc anchored)	3882
Fertilizer	3881
General placement	2575
 - Sod shall be placed behind curb immediately following the backfilling under city street and utility project.
 - The seed mixture shall consist of a MnDOT type 500 unless noted otherwise on the plan.
- Following street construction, the developer shall clean the streets on an on-going basis as required by the city.
- Unless otherwise noted, the siltation ponds are temporary, and shall be removed and restored to the original contour by the developer following the permanent establishment of turf on 75% of the drainage area. The ponds and pond outlets shall be constructed under the grading contract.
- Rip-rap shall be placed at all storm sewer outlets under the utility contract and shall conform with applicable city and watershed district standards and specifications.
- Vertical grading tolerance shall be within 0.2 feet of the city approved grading plan.

CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166



**ALBERTVILLE
PLAZA 2ND
ADDITION**

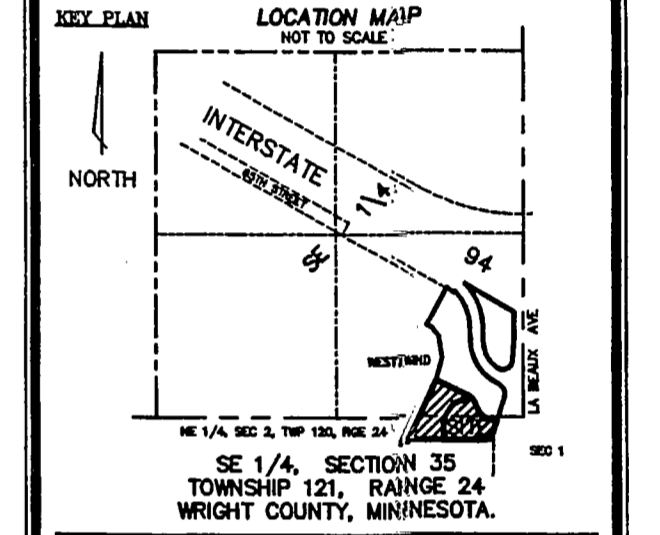
CITY OF



MINNESOTA

OWNER:
ALBERTVILLE PLAZA LLC
75 WEST VIKING DRIVE, SUITE 104
LITTLE CANADA, MINNESOTA 55117
PHONE (651) 484-6835
FAX (651) 484-5701

DEVELOPER:
RJ MARCO CONSTRUCTION, INC.
75 WEST VIKING DRIVE, SUITE 104
LITTLE CANADA, MINNESOTA 55117
PHONE (651) 484-5835
FAX (651) 484-5701



SHEET INDEX	TITLE
CO-1	TITLE SHEET
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CO-1	GRADING, DRAINAGE PLAN
CO-1	UTILITY PLAN
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CO-1	PRELIMINARY PLAN
CO-1	DETAIL SHEET
CO-2	DETAIL SHEET

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Dironovani - PE
44613 License No. 2-25-06 Date

DATE	REVISION
8-30-06	CITY SUBMITTAL
7-18-06	CITY COMMENTS

QUALITY MANAGEMENT REVIEW: _____ DATE: _____

LOUCKS ASSOCIATES

Planning • Civil Engineering • Land Surveying
Environmental • Architecture
7200 Bankers Loan Bldg. 200, Minneapolis, Minnesota 55408-6622
Telephone: (612) 432-0000 Fax: (612) 432-0022
Web Page: loucksassociates.com

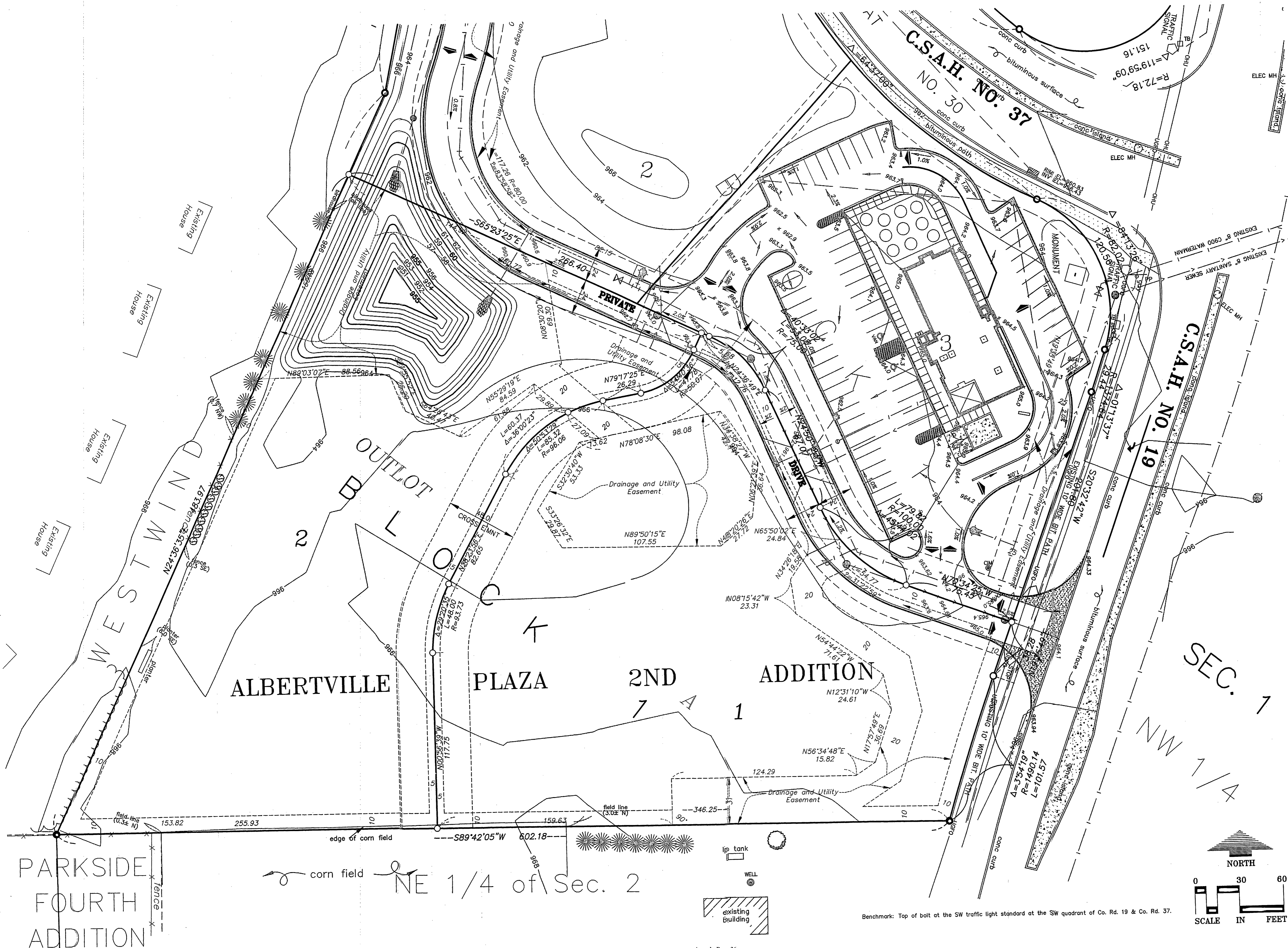
STORM WATER POLLUTION PREVENTION PLAN

PROJECT NO. 99-190F C5-1

Exhibit A

PARKSIDE
FOURTH
ADDITION

Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.



**ALBERTVILLE
PLAZA 2ND
ADDITION**

CITY OF



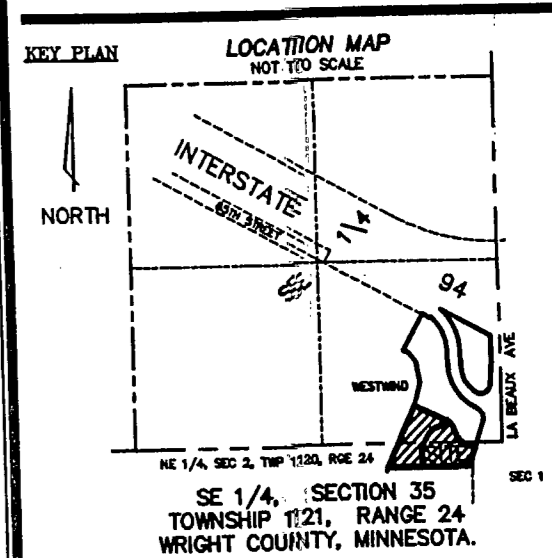
MINNESOTA

OWNER
ALBERTVILLE PLAZA LLC

75 WEST VIKING DRIVE, SUITE 104
LITTLE CANADA, MINNESOTA 55117
PHONE (651) 484-5835
FAX (651) 484-5701

DESIGNER
RJ MARCO CONSTRUCTION, INC.

75 WEST VIKING DRIVE, SUITE 104
LITTLE CANADA, MINNESOTA 55117
PHONE (651) 484-5835
FAX (651) 484-5701



SHEET INDEX

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CO-1	DETAIL SHEET
CO-2	DETAIL SHEET

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE
44613 License No. 7-25-06 Date

DATE	REVISION
6-30-08	CITY SUBMITTAL
7-19-08	CITY COMMENTS

QUALITY MANAGEMENT REVIEW: BY: DATE:

LOUCKS ASSOCIATES

Planning • Civil Engineering • Land Surveying
Environmental • Architecture
220 Birch Lake Drive, Little Canada, Minnesota 55120-5202
Telephone: (763) 424-5202 Fax: (763) 424-5202
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PRELIMINARY PLAN

PROJECT NO. 99-190F	C6-1
------------------------	------

PARKSIDE
FOURTH
ADDITION

corn field NE 1/4 of Sec. 2

Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.

**ALBERTVILLE
PLAZA**

CITY OF



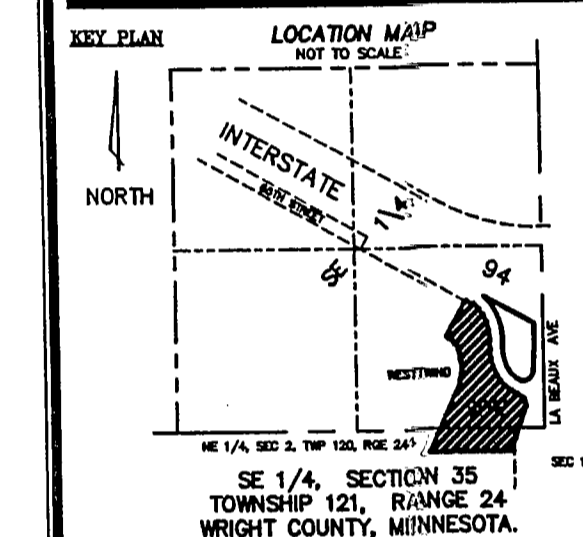
MINNESOTA

ALBERTVILLE PLAZA LLC

75 WEST VIKING DRIVE, SUITE 104
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RJ MARCO CONSTRUCTION, INC.

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03-2	SITE PLAN-MULTI-TENANT BUILDING
03-3	SITE PLAN-CULVERTS BUILDING
03-4	MASTERS GRADING & EROSION CONTROL PLAN
03-5	GRADING PLAN-MULTI TENANT BUILDING
03-6	GRADING PLAN-CULVERTS BUILDING
04-1	UTILITY PLAN
05-1	DETAIL SHEET
05-2	DETAIL SHEET
11-1	LANDSCAPE PLAN

CADD FILE QUALIFICATION:
CADD files prepared by the Engineer/Designer for this project are the property of the City of Albertville. These CADD files shall not be used for any other project, for conditions to this project or for any other project, without the written approval of the Engineer/Designer. With the Engineer/Designer's approval, files may be permitted to other users of the CADD system. Files for information and reference only. All intentional or unintentional revisions, additions or deletions to these CADD files shall be made at the full risk of the party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Engineer/Designer from any and all responsibilities, claims and liabilities.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.
 Date: 7-25-06
 Reg. No. 44613

DATE	REVISION

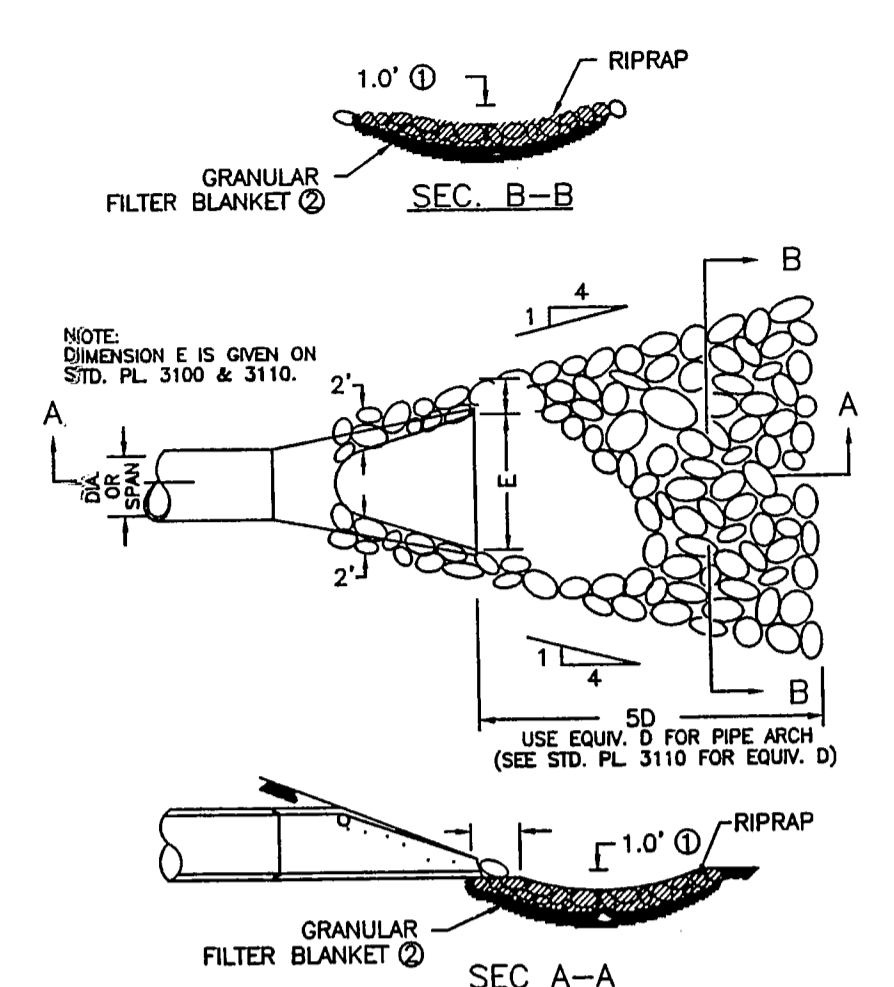
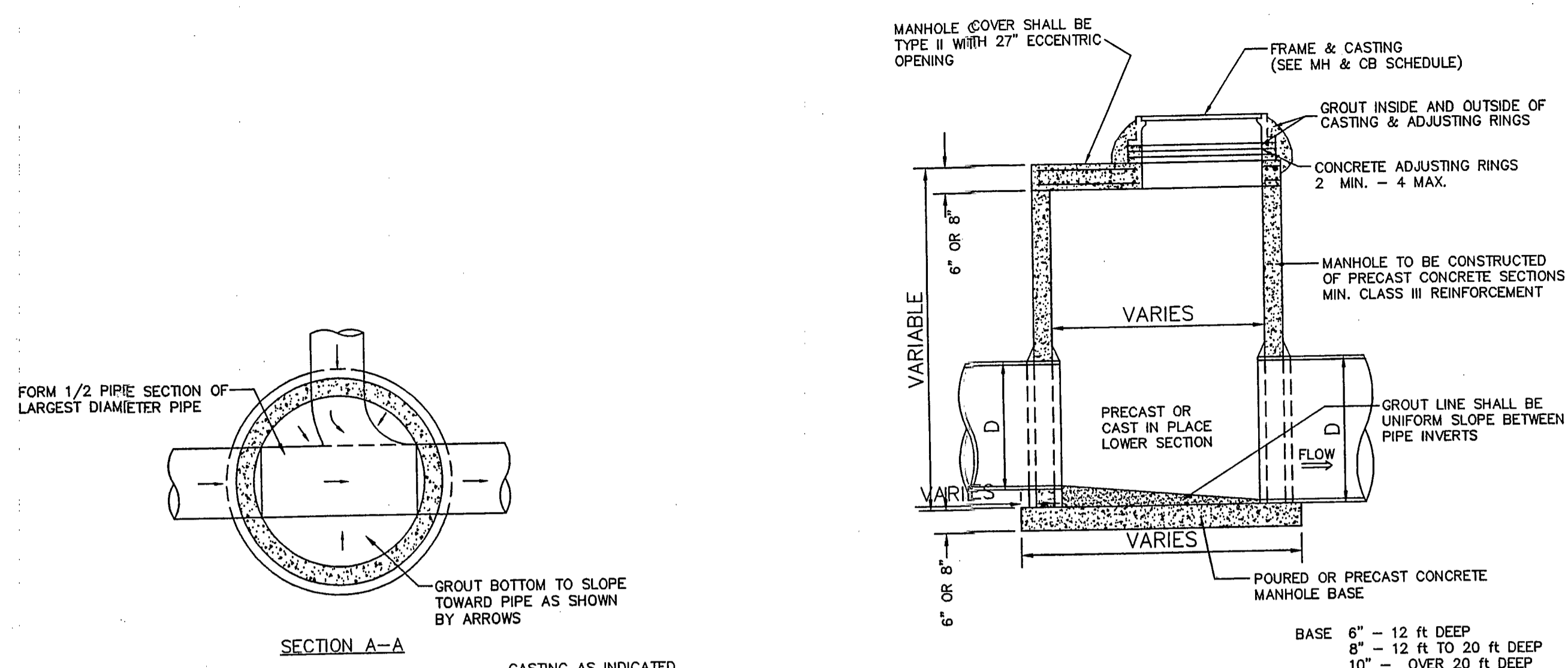
QUALITY MANAGEMENT REVIEW: _____ DATE: _____

LOUCKS ASSOCIATES

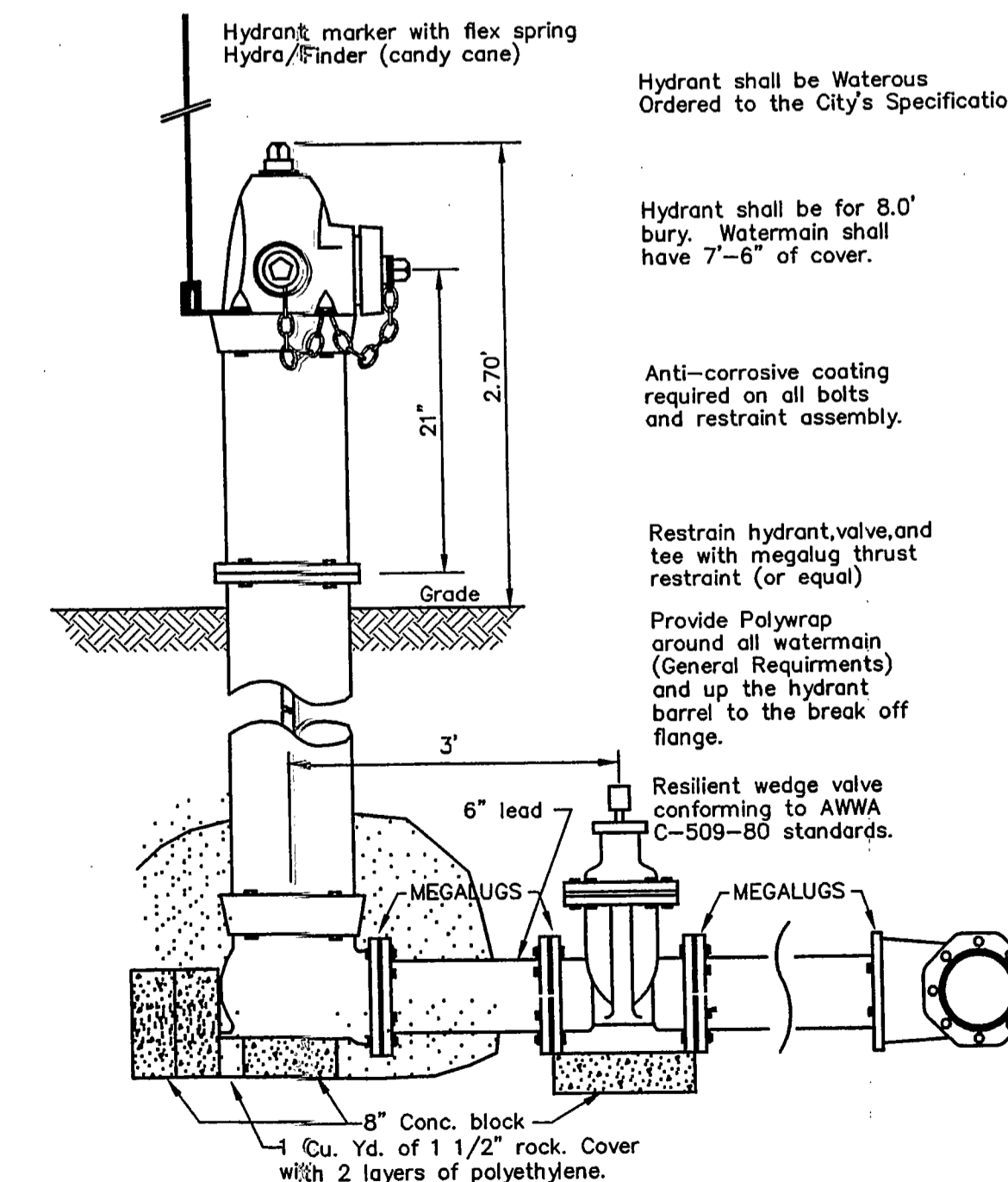
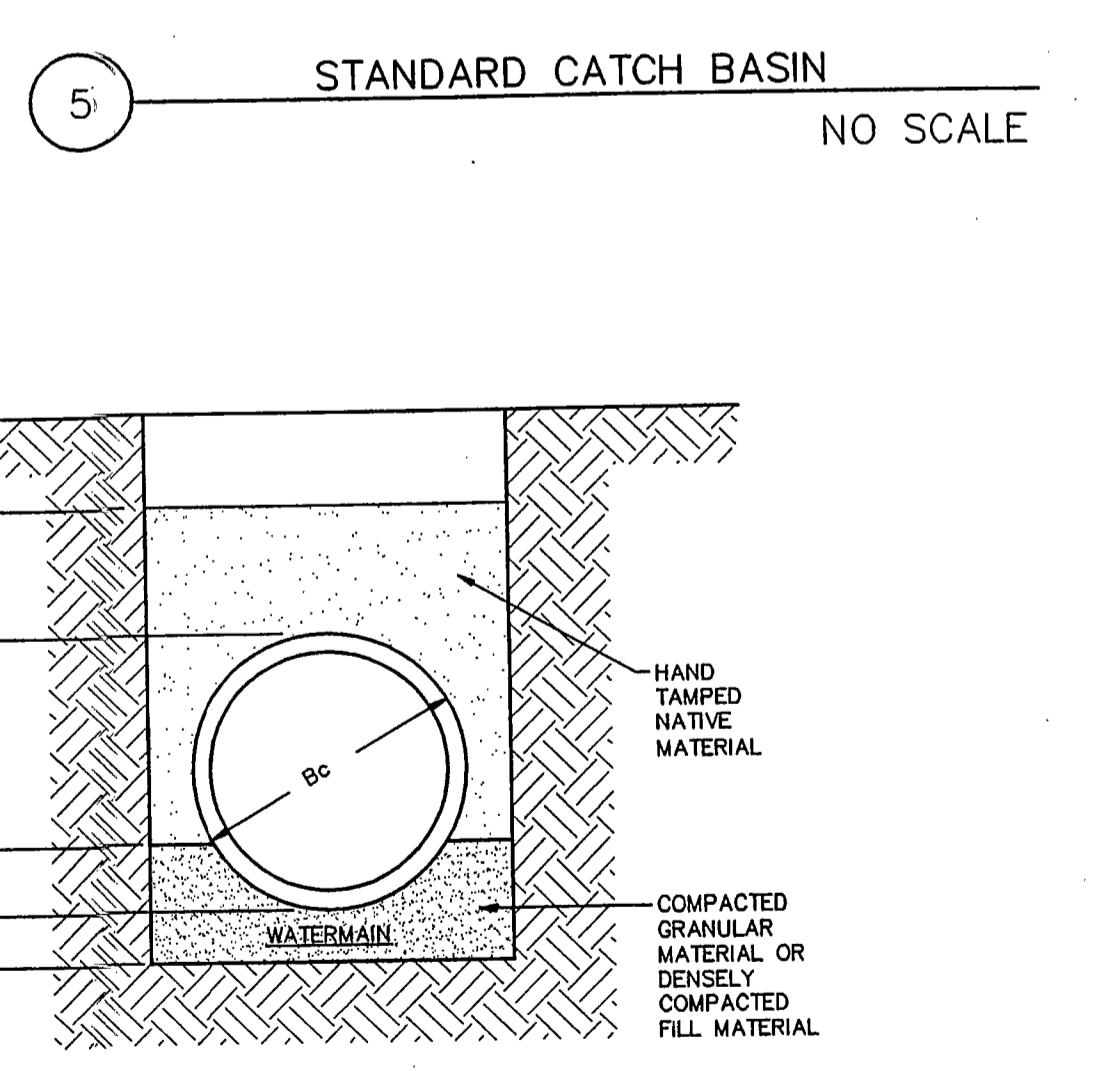
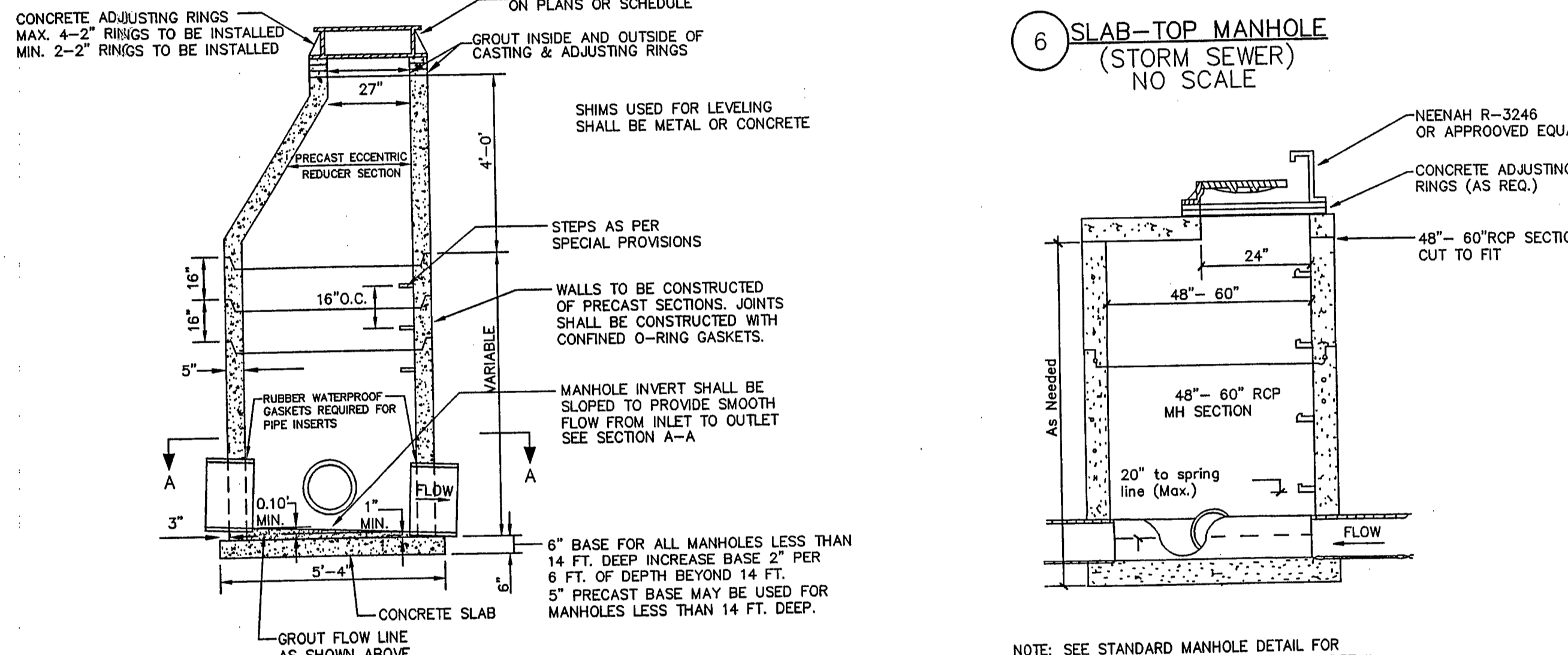
Planning • Civil Engineering • Land Surveying
 Environmental • Archeology
 7200 Belmont Lane, Suite 200, Minneapolis, Minnesota 55425-5202
 Telephone: (612) 835-2000 Fax: (612) 835-2022
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DETAIL SHEET

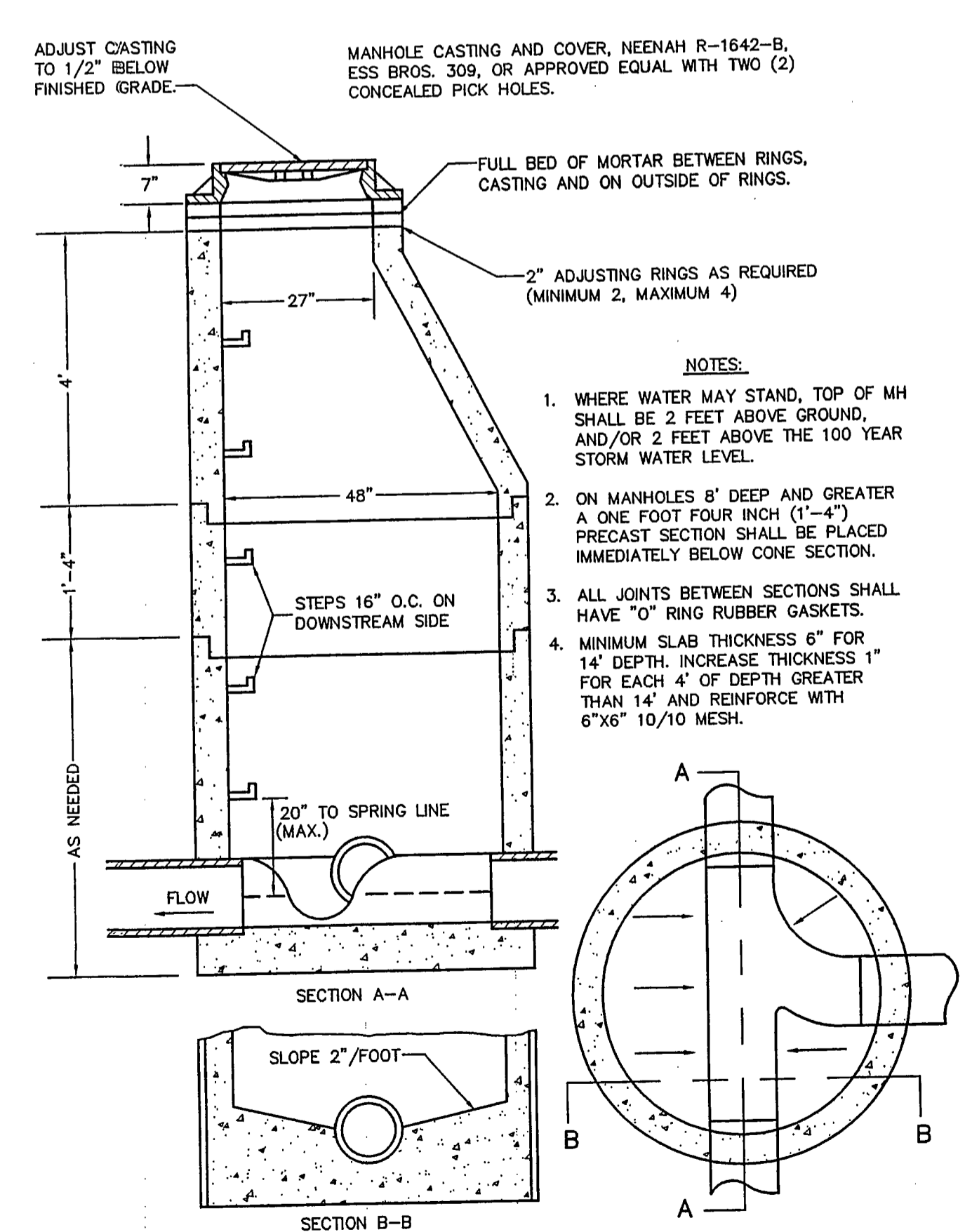
PROJECT NO. 99190 **C8-1**



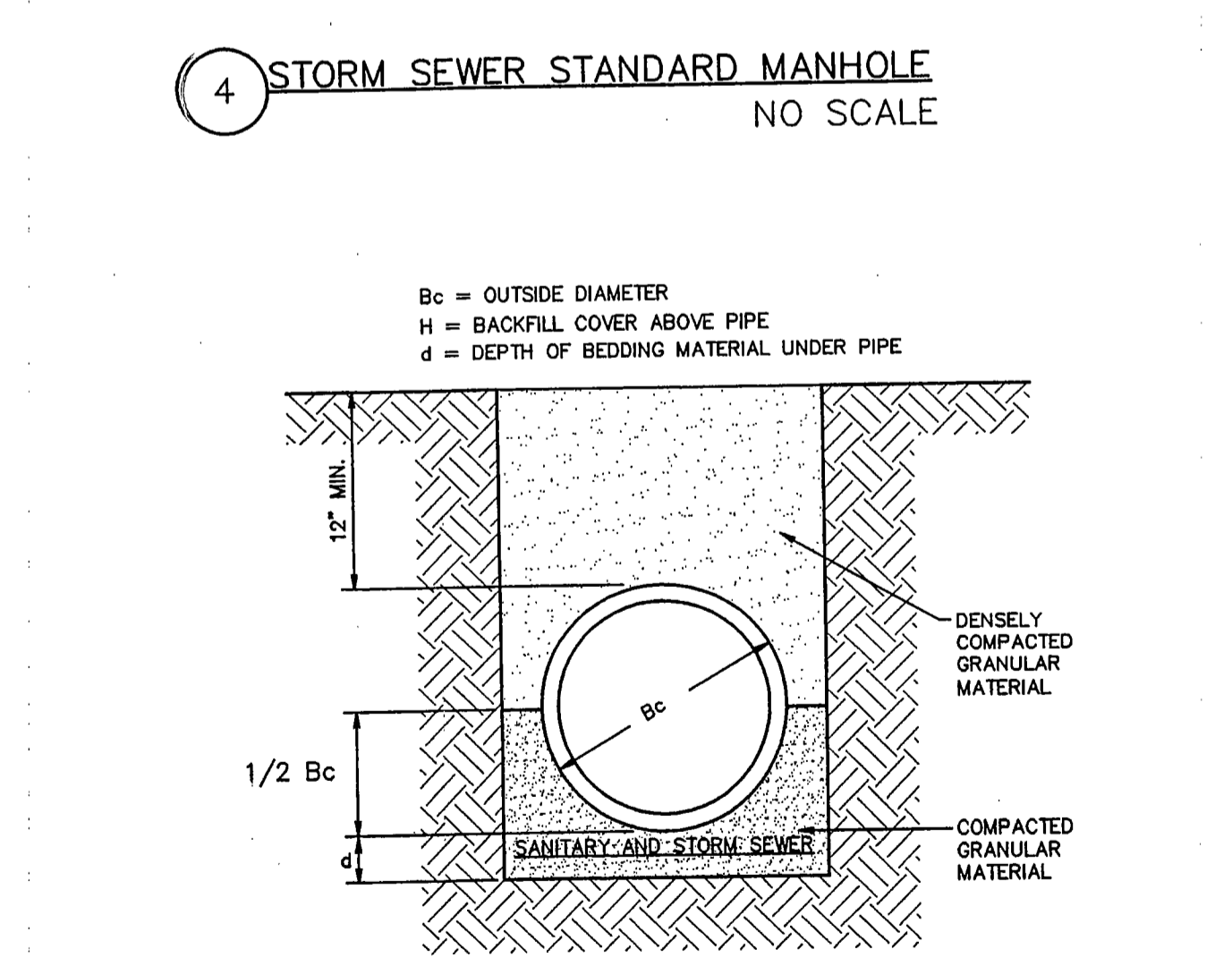
- ① FOR PIPES GREATER THAN OR EQUAL TO 48", USE 2.0'
- ② THE CONTRACTOR MAY SUBSTITUTE A GEOTEXTILE FABRIC, SPEC. 3601 FOR THE GRANULAR FILTER BLANKET UNLESS OTHERWISE SPECIFIED IN THE PLANS. THE FABRIC SHOULD COVER THE AREA OF THE RIPRAP AND EXTEND UNDER THE CULVERT APRON 3 FEET.
- ③ QUANTITIES AS PER MNDOT STANDARD PLATE



1 VALVE AND HYDRANT INSTALLATION NO SCALE



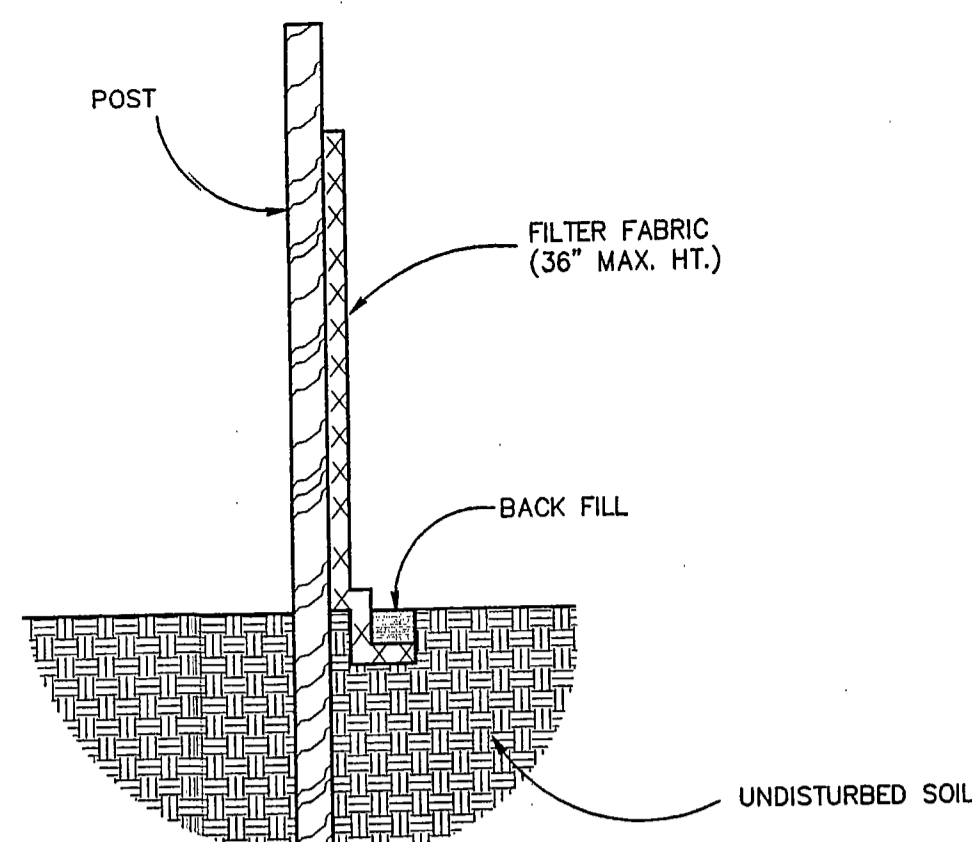
3 SANITARY SEWER MANHOLE NO SCALE



CLASS B BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL PLACED UP TO A HEIGHT EQUAL TO ONE-HALF THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE GRANULAR BEDDING BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" DIAMETER AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE INITIAL FILL MATERIAL SHALL BE DENSELY COMPACTED GRANULAR UP TO A HEIGHT OF 12" OVER THE TOP OF THE PIPE.

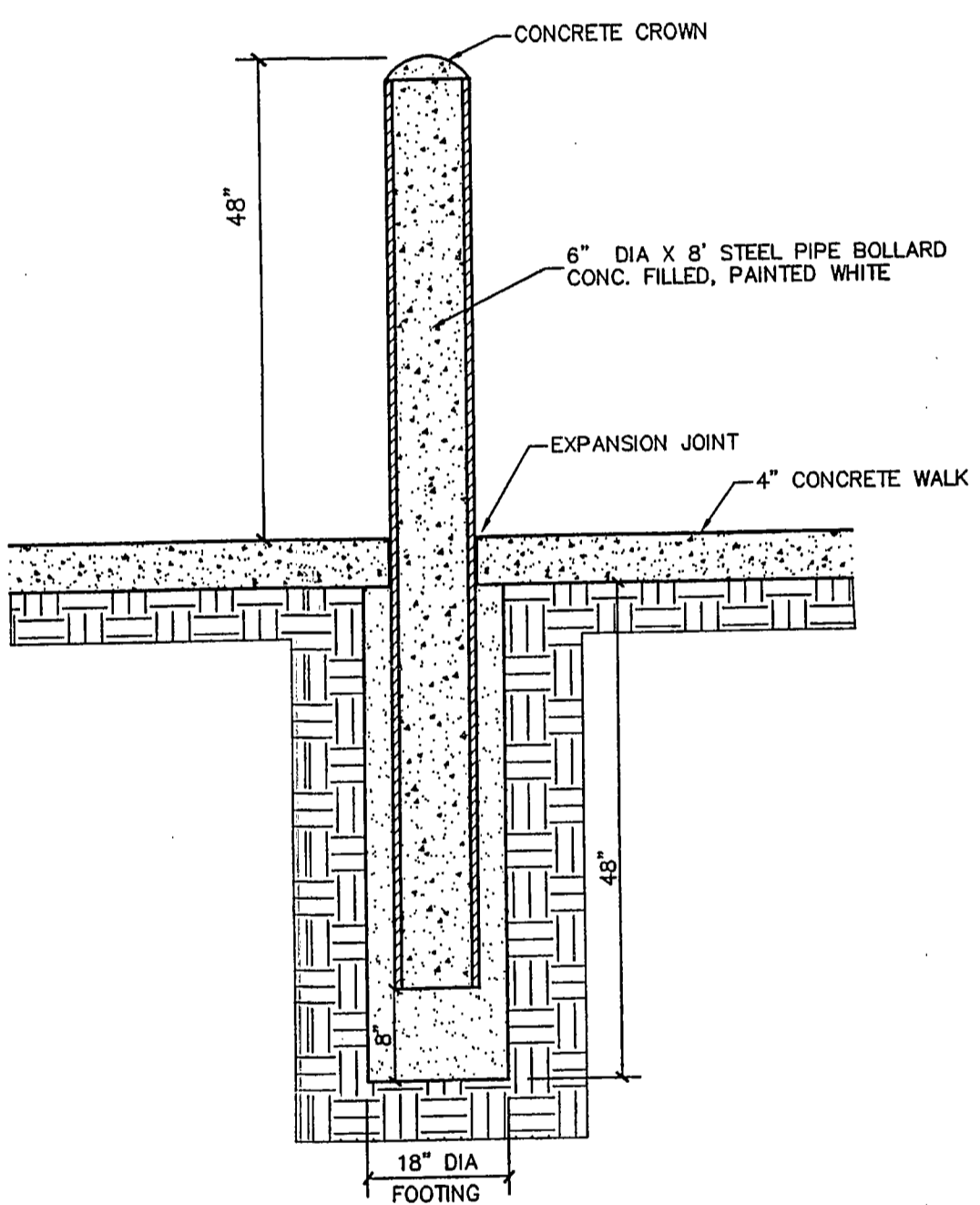
CLASS C BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL OR DENSELY COMPACTED FILL MATERIAL UP TO A HEIGHT EQUAL TO ONE-SIXTH THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE BEDDING MATERIAL BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE REMAINING SIDEFILL AND BACKFILL MATERIAL IS COMPACTED NATIVE SOILS.

2 PIPE BEDDING NO SCALE

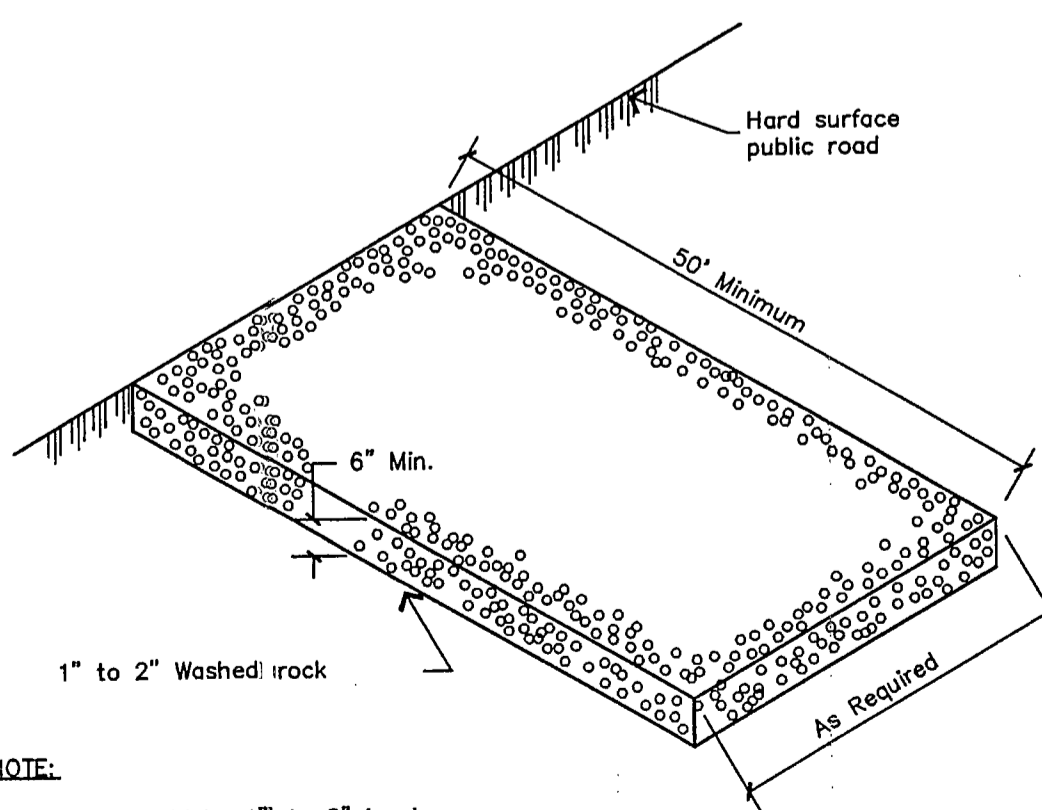


NOTES:
 1. DIG A 6" TRENCH ALONG THE INTENDED FENCE LINE
 2. DRIVE ALL POSTS INTO THE GROUND AT THE BACK SIDE OF THE TRENCH
 3. WHERE DIRECTED, INSTALL WIRE FENCING PER HENNINGEN COUNTY CONSERVATION DISTRICT EROSION AND SEDIMENT CONTROL MANUAL. WIRE MESH MUST BE MINIMUM OF 2" INTO THE GROUND AND NO MORE THAN 36" ABOVE THE ORIGINAL
 4. GRADE SURFACE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACK FILL.

5 SILT FENCE DETAIL NO SCALE

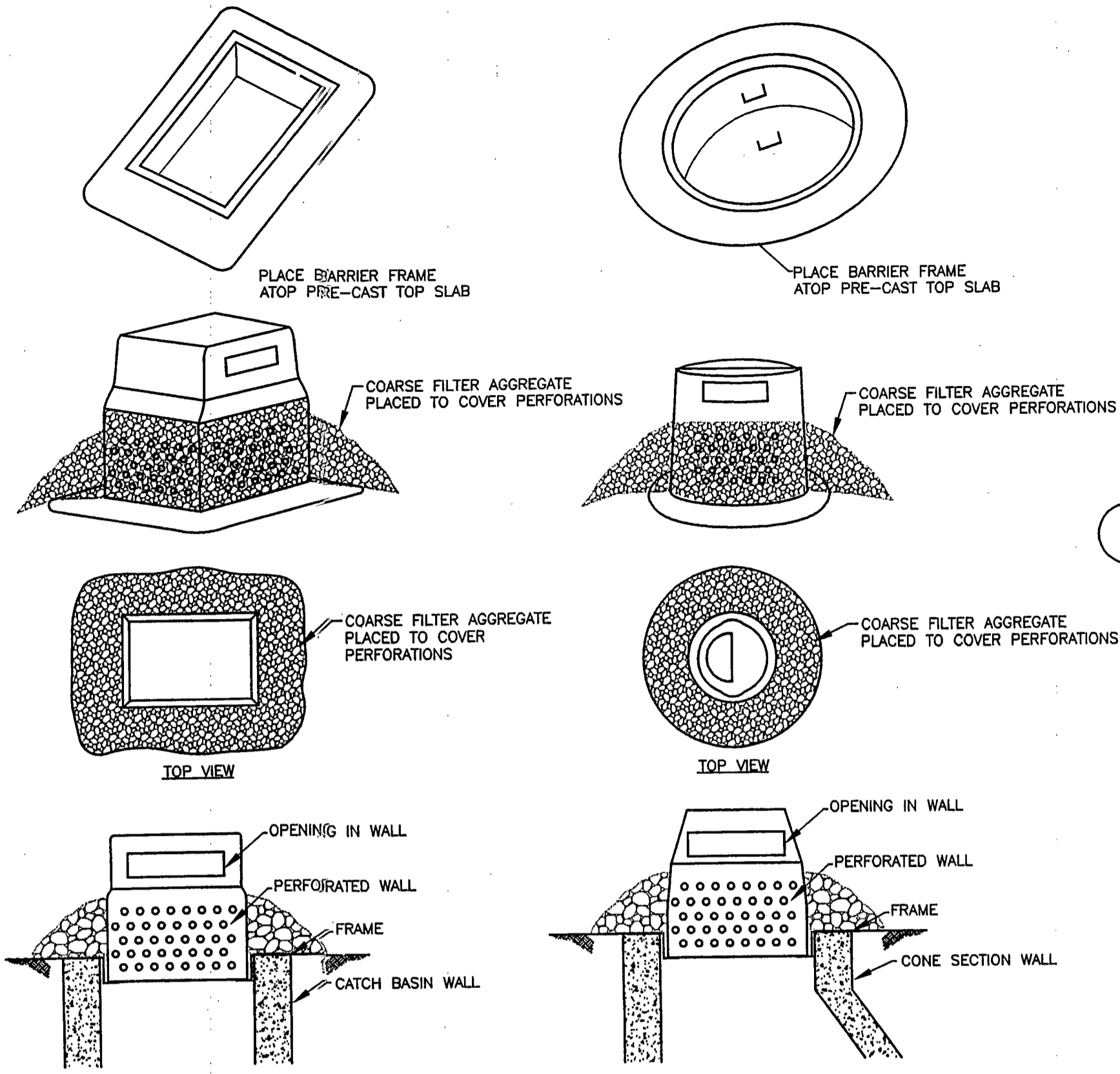


4 ROUND PIPE BOLLARD NO SCALE

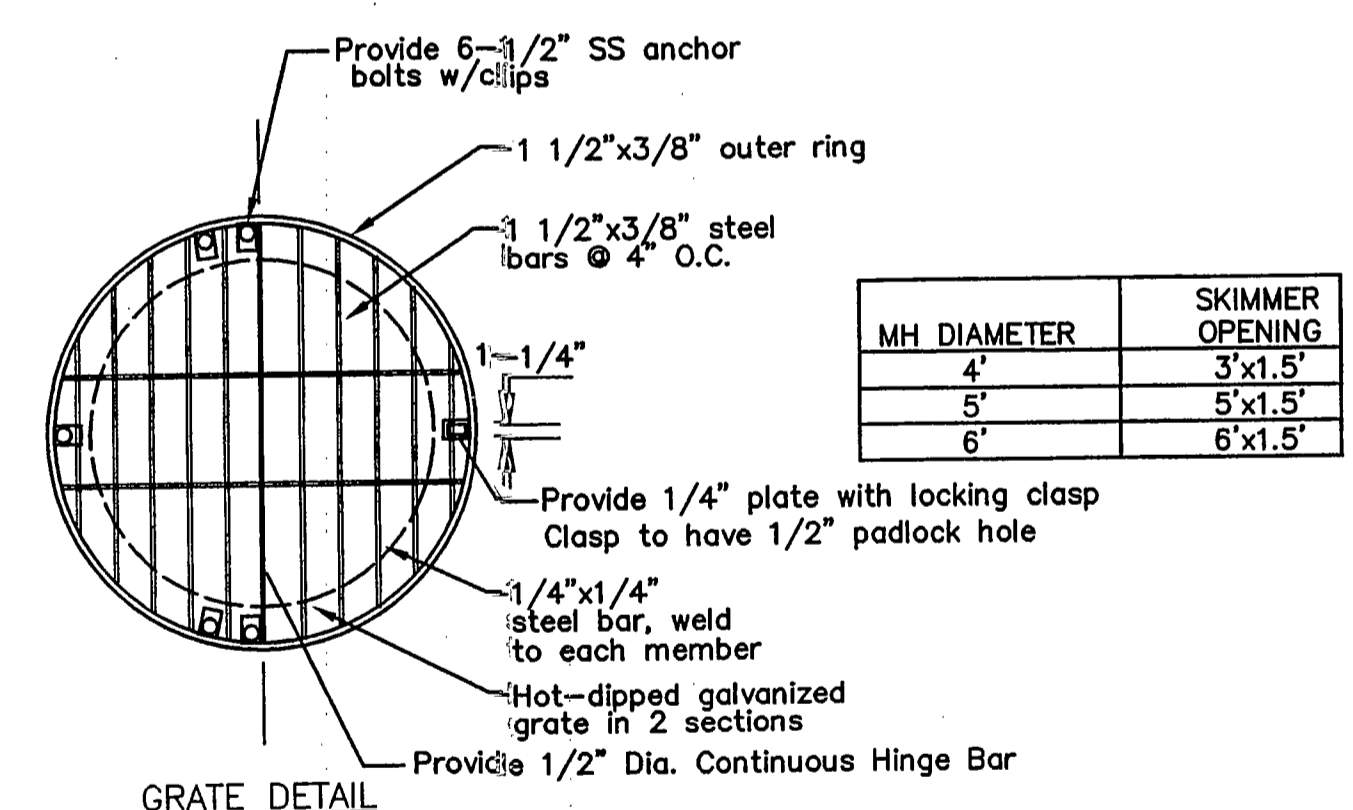


NOTE:
 Rock size should be 1" to 2" in size such as MnDOT CA-1 or CA-2 course aggregate.
 A geotextile fabric may be used under the rock to prevent migration of the underlying soil into the stone.

6 ROCK ENTRANCE TO CONSTRUCTION SITE NO SCALE

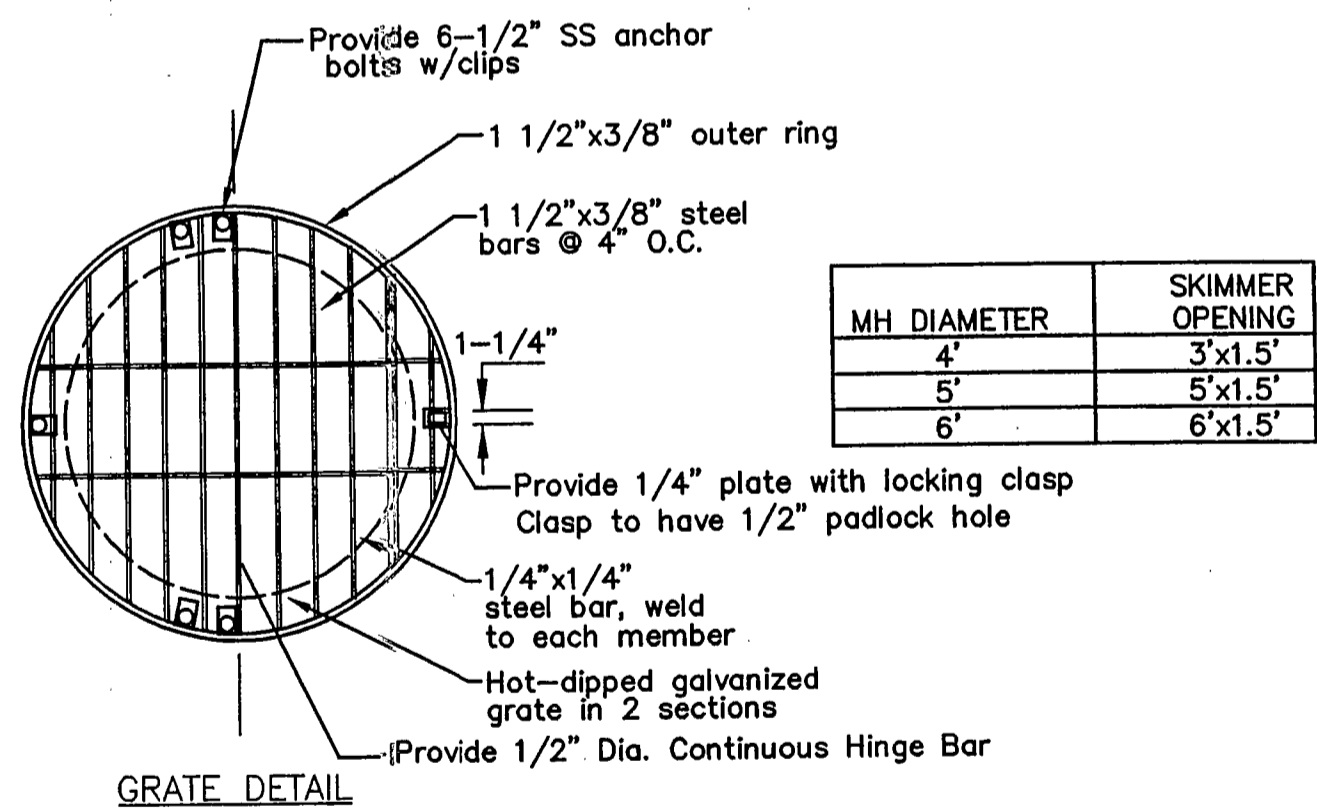


3 INLET PROTECTION PERFORATED WALL NO SCALE



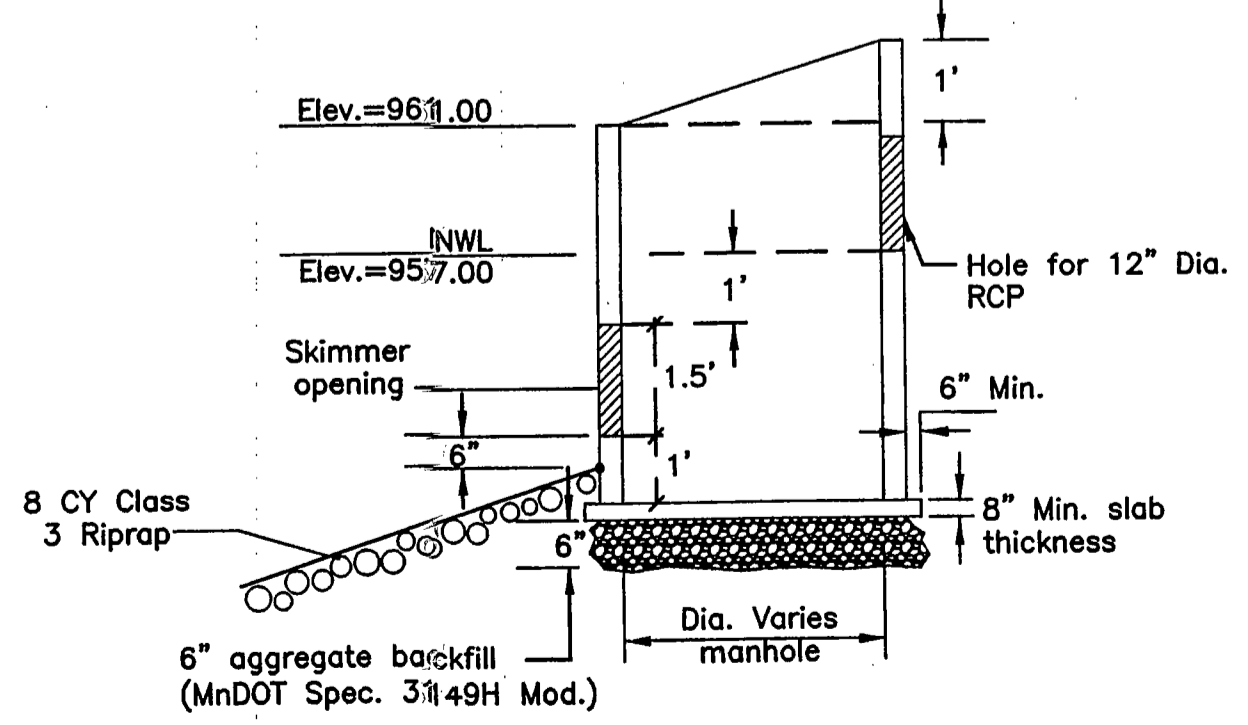
GRATE DETAIL

MH DIAMETER	SKIMMER OPENING
4'	3'x1.5'
5'	5'x1.5'
6'	6'x1.5'

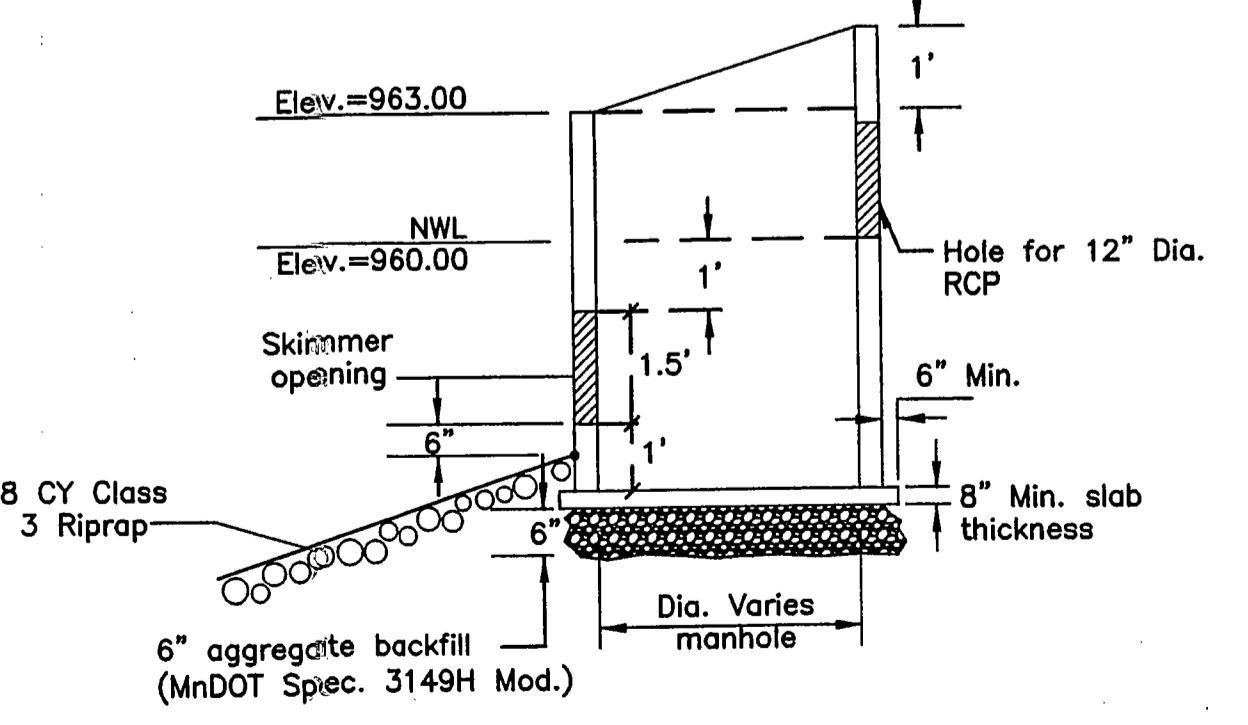


GRATE DETAIL

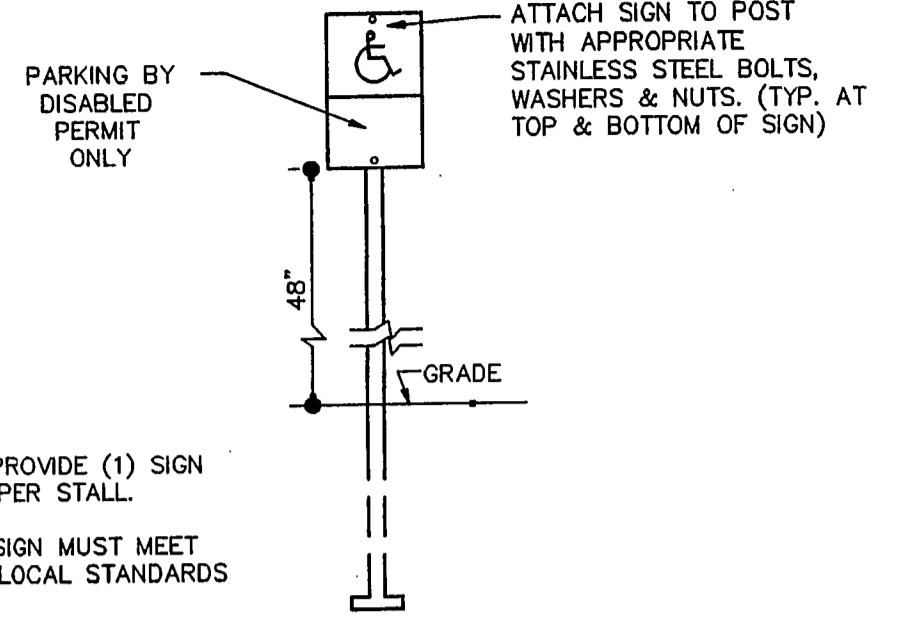
MH DIAMETER	SKIMMER OPENING
4'	3'x1.5'
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OUTLET CONTROL STRUCTURE (OCS 2)

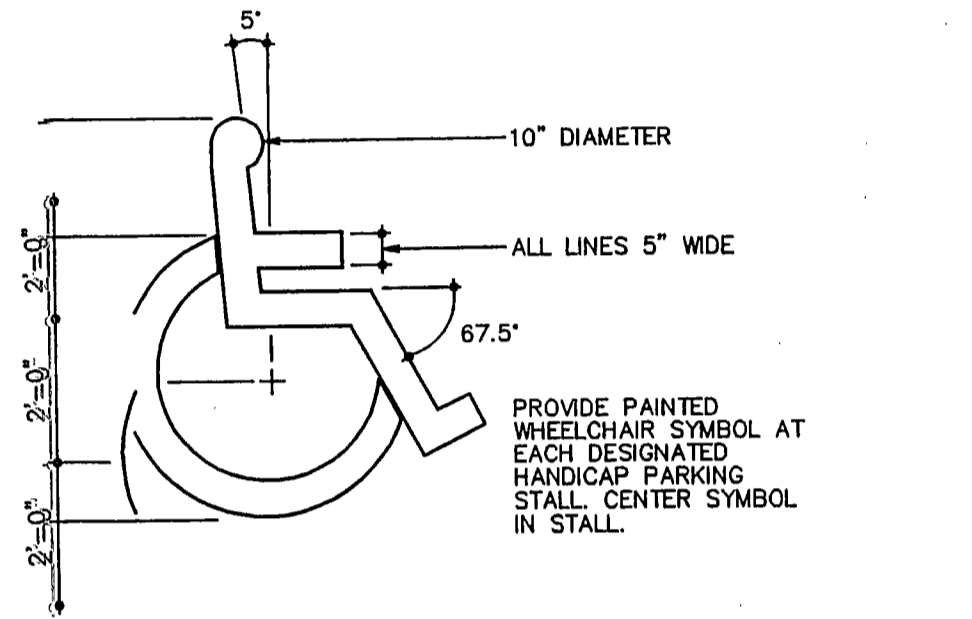


OUTLET CONTROL STRUCTURE (OCS 1)

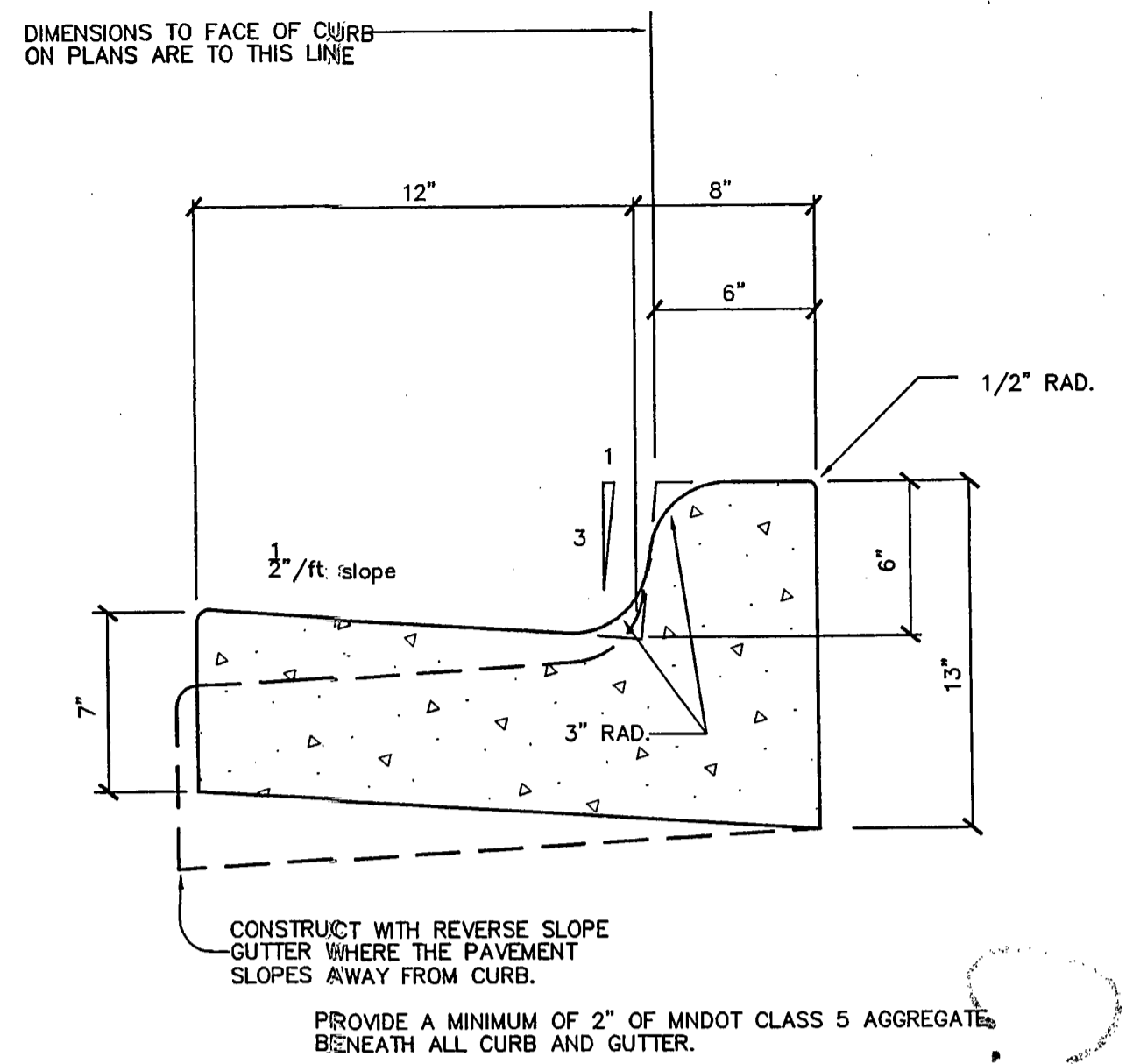


NOTES:
 1. PROVIDE (1) SIGN PER STALL
 2. SIGN MUST MEET LOCAL STANDARDS

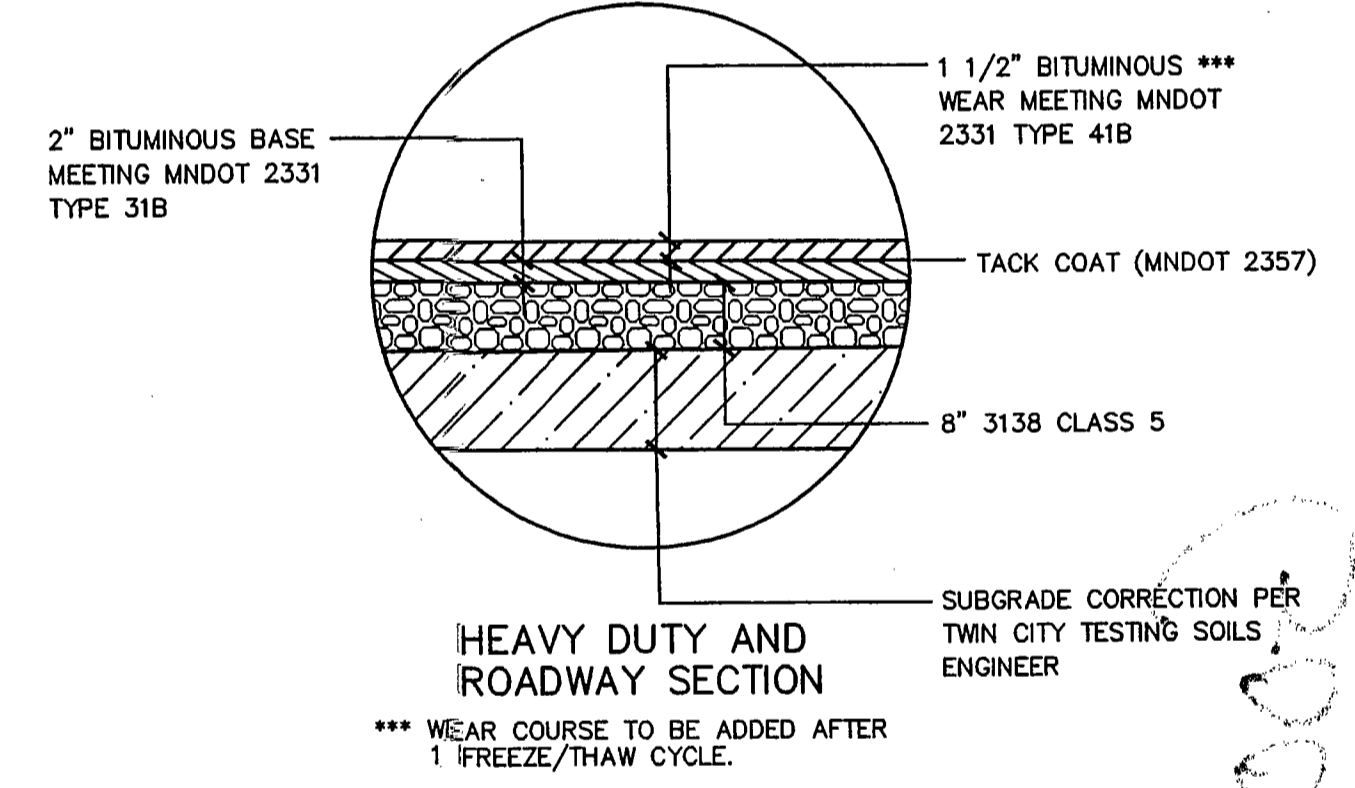
7 HANDICAP PARKING SIGN NO SCALE



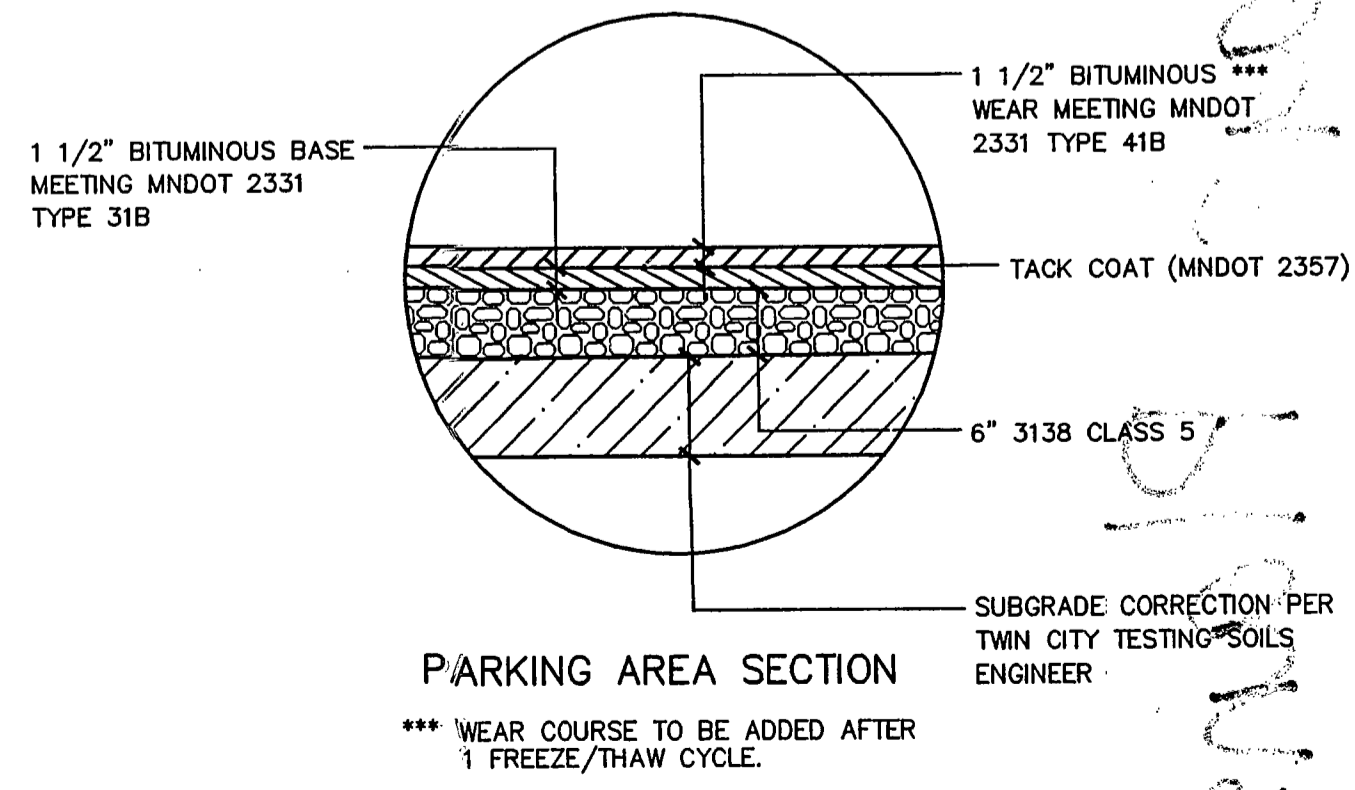
2 WHEELCHAIR SYMBOL NO SCALE



8 B612 CURB SECTION NO SCALE

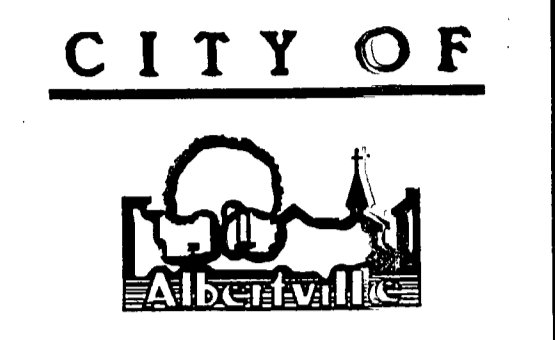


HEAVY DUTY AND ROADWAY SECTION
 *** WEAR COURSE TO BE ADDED AFTER 1 FREEZE/THAW CYCLE.



1 BITUMINOUS PAVING SECTIONS NO SCALE

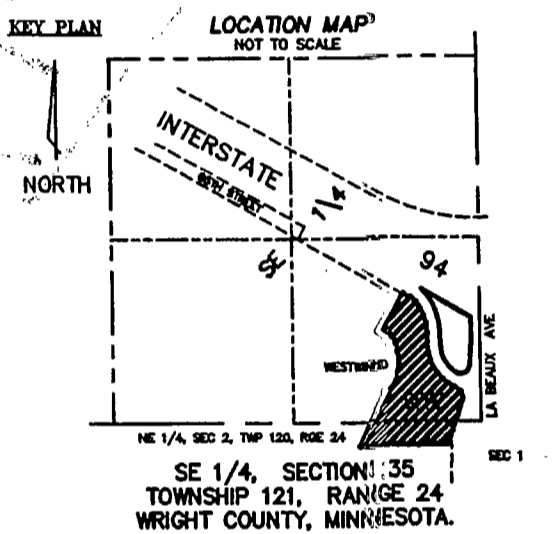
ALBERTVILLE PLAZA



CITY OF MINNESOTA

OWNER
 ALBERTVILLE PLAZA LLC
 75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5635
 FAX (651) 484-5701

DEVELOPER
 RJ MARCO CONSTRUCTION, INC.
 75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
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SHEET INDEX

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CS-1	MASTER GRADING & EROSION CONTROL PLAN
CS-2	GRADING PLAN-MULTI-TENANT BUILDING
CS-3	GRADING PLAN-CULVERS BUILDING
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CS-2	DETAIL SHEET
CS-1	LANDSCAPE PLAN

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.
 Date: 7-25-06

DATE	REVISION

QUALITY MANAGEMENT REVIEW:
 BY: _____ DATE: _____

Loecks ASSOCIATES

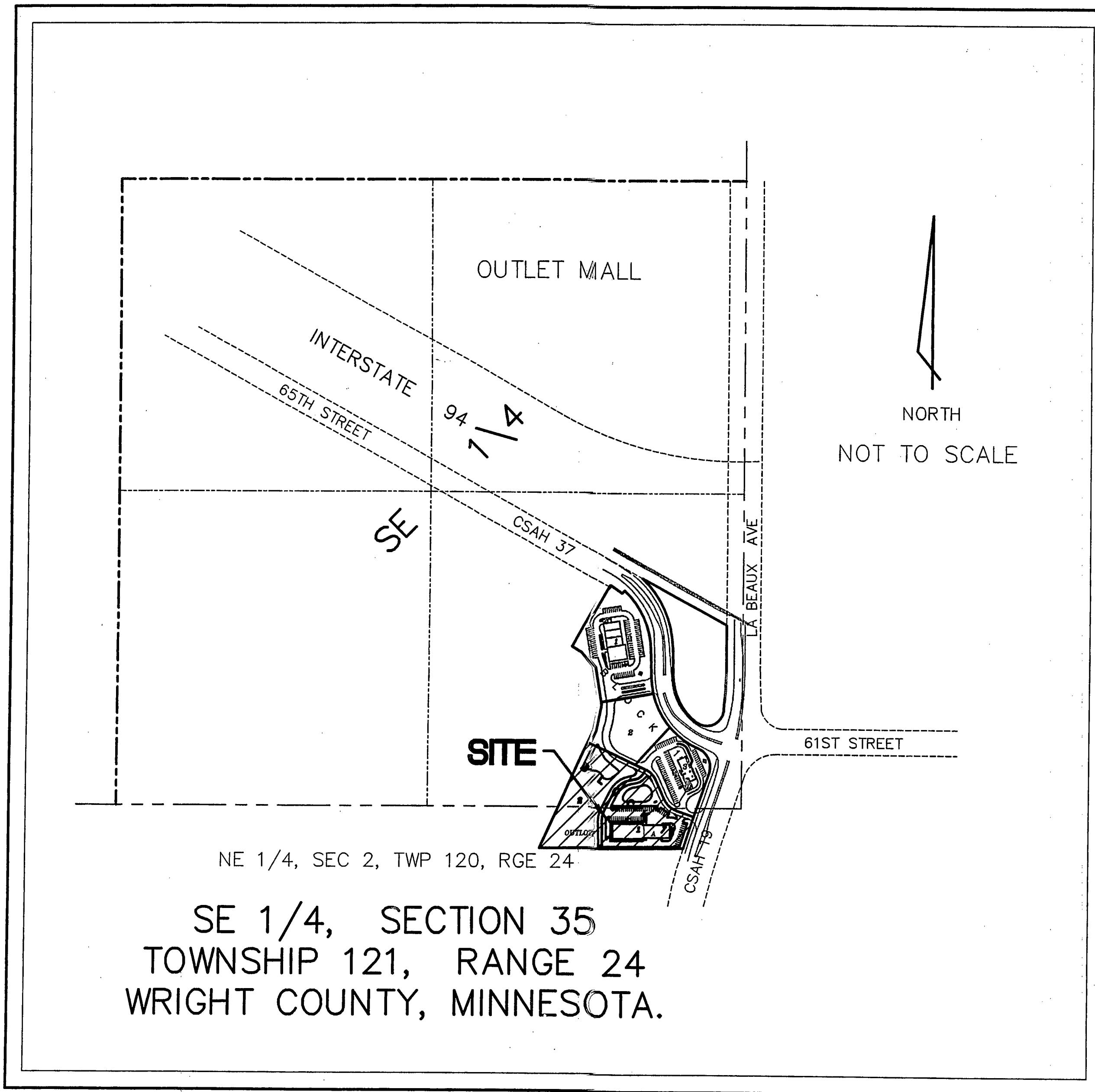
Planning • Civil Engineering • Land Surveying
 Environmental • Architecture
 7000 Lakes Area, Suite 200, Minneapolis, Minnesota 55424-5042
 Telephone: (612) 920-2800 Fax: (612) 920-4122
 144 Page lelocks.com

DETAIL SHEET NOT FOR CONSTRUCTION

PROJECT NO. 99190F C8-2

ALBERTVILLE PLAZA 2ND ADDITION

LOT 1 BLOCK 1, ALBERTVILLE PLAZA 2ND ADDITION
 ALBERTVILLE, MINNESOTA
 CONSTRUCTION PLANS



VICINITY MAP

SHEET INDEX

SHEET	TITLE
C0-1	TITLE SHEET
C1-1	EXISTING CONDITIONS
C2-1	SITE PLAN
C3-1	GRADING & DRAINAGE PLAN
C4-1	UTILITY PLAN
C5-1	STORM WATER POLLUTION PREVENTION PLAN
C6-1	PRELIMINARY PLAT
C8-1	DETAIL SHEET
C8-2	DETAIL SHEET

ENGINEER:
LOUCKS ASSOCIATES

7200 HEMLOCK LANE
 MAPLE GROVE, MN 55369
 TEL: (763) 424-5505

DEVELOPER:
RJ MARCO CONSTRUCTION, INC.

75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MN 55117
 TEL: (651) 484-5635

RECEIVED
 AUG 09 2006
 Building Inspections

ALBERTVILLE
 PLAZA 2ND
 ADDITION

CITY OF



MINNESOTA

OWNER

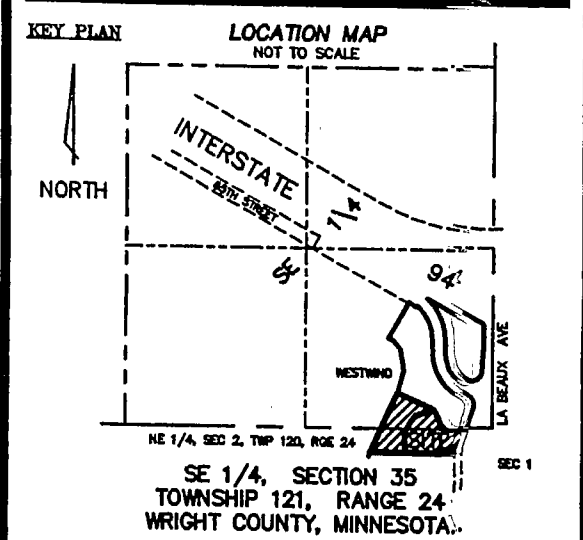
ALBERTVILLE PLAZA LLC

75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5635
 FAX (651) 484-5701

DEVELOPER

RJ MARCO CONSTRUCTION, INC.

75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5635
 FAX (651) 484-5701



SHEET	TITLE
C0-1	TITLE SHEET
C1-1	EXISTING CONDITIONS
C2-1	SITE PLAN
C3-1	GRADING, DRAINAGE PLAN
C4-1	UTILITY PLAN
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C6-1	PRELIMINARY PLAT
C8-1	DETAIL SHEET
C8-2	DETAIL SHEET

CAD FILE QUALIFICATION:
 CAD files prepared by the Engineer/Surveyor for this project are instruments of the Engineer/Surveyor's professional services for use only with respect to this project. These CAD files should not be used on other projects, for additions to this project or for completion of this project, by anyone without written approval by the Engineer/Surveyor. With the exception of those approved files, no other files may be permitted to obtain copies of the CAD drawing files for information and reference only. All additions or amendments, additions or deletions to these CAD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Engineer/Surveyor from any & all responsibilities, claims and liabilities.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jordan J. Donovan
 Jordan J. Donovan - PE
 License No. 44613 Date 7-25-06

DATE	REVISION
6-30-06	CITY SUBMITTAL
7-18-06	CITY COMMENTS

QUALITY MANAGEMENT REVIEW:
 BY: _____ DATE: _____

LOUCKS ASSOCIATES

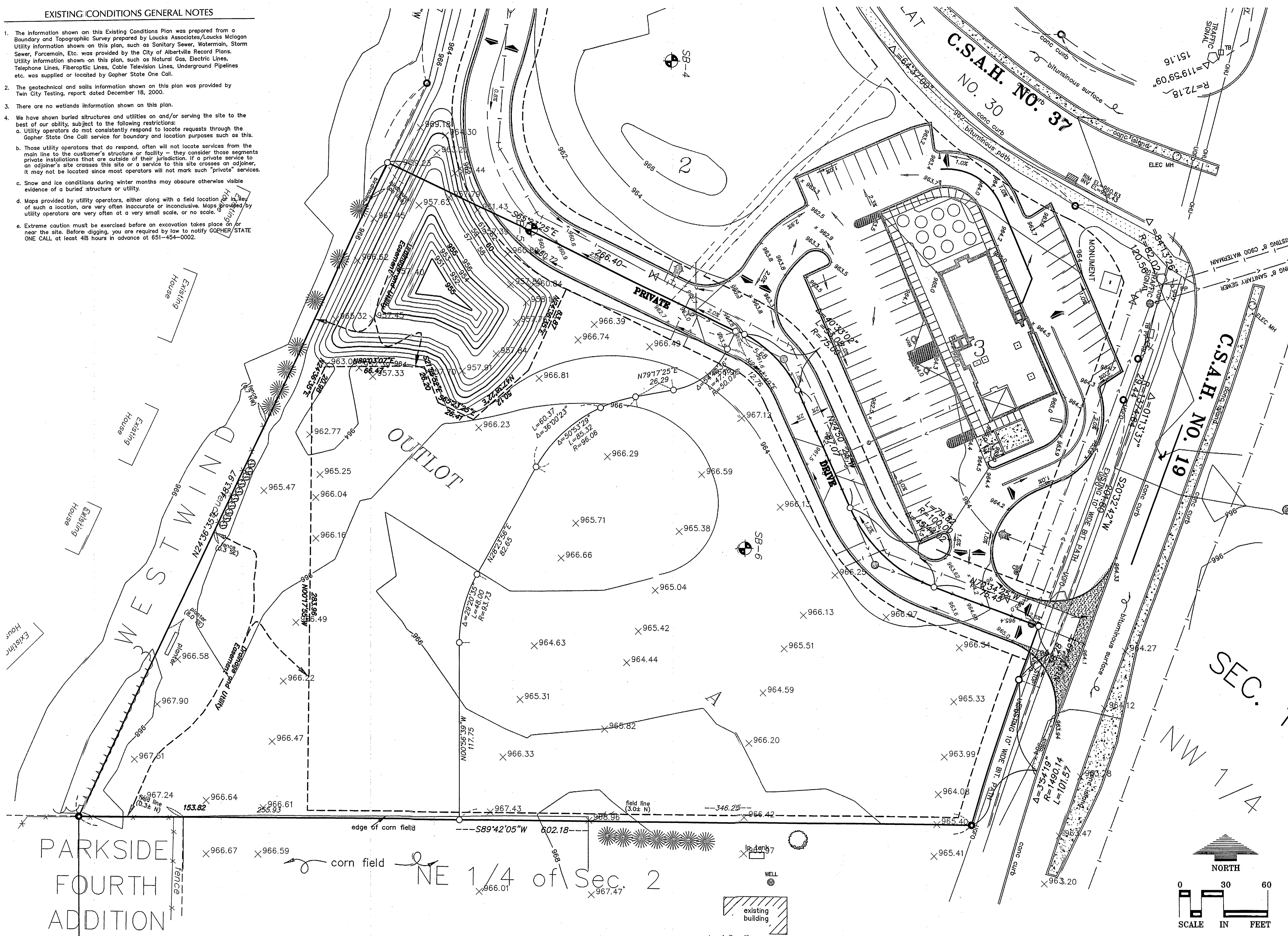
Planning • Civil Engineering • Land Surveying
 Environmental • Architecture
 7200 Hemlock Lane, Suite 200, Minneapolis, Minnesota 55429-5502
 Telephone: (763) 424-5505 Fax: (763) 424-5502
 © 2006 P&H Page: 1/1

TITLE SHEET

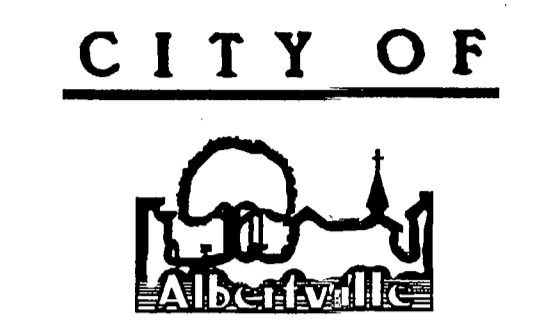
PROJECT NO. 99190 C0-1

EXISTING CONDITIONS GENERAL NOTES

- The information shown on this Existing Conditions Plan was prepared from a Boundary and Topographic Survey prepared by Loucks Associates/Loucks McLean Utility Information shown on this plan, such as Sanitary Sewer, Watermain, Storm Sewer, Forcemain, Etc. was provided by the City of Albertville Record Plans. Utility information shown on this plan, such as Natural Gas, Electric Lines, Telephone Lines, Fiberoptic Lines, Cable Television Lines, Underground Pipelines etc. was supplied or located by Gopher State One Call.
- The geotechnical and soils information shown on this plan was provided by Twin City Testing, report dated December 18, 2000.
- There are no wetlands information shown on this plan.
- We have shown buried structures and utilities on and/or serving the site to the best of our ability, subject to the following restrictions:
 - Utility operators do not consistently respond to locate requests through the Gopher State One Call service for boundary and location purposes such as this.
 - Those utility operators that do respond, often will not locate services from the main line to the customer's structure or facility - they consider those segments private installations that are outside of their jurisdiction. If a private service to an adjoining site crosses this site or a service to this site crosses an adjoining, it may not be located since most operators will not mark such "private" services.
 - Snow and ice conditions during winter months may obscure otherwise visible evidence of a buried structure or utility.
 - Maps provided by utility operators, either along with a field location or the location of such a location, are very often inaccurate or inconclusive. Maps provided by utility operators are very often at a very small scale, or no scale.
 - Extreme caution must be exercised before an excavation takes place on or near the site. Before digging, you are required by law to notify GOPHER STATE ONE CALL at least 48 hours in advance at 651-454-0002.



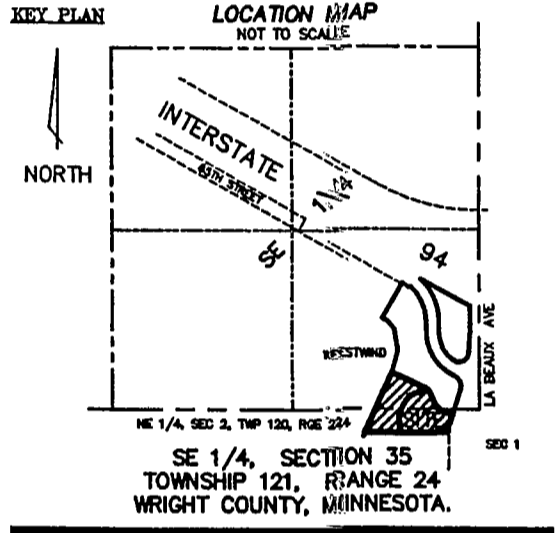
**ALBERTVILLE
PLAZA 2ND
ADDITION**



MINNESOTA

OWNER
ALBERTVILLE PLAZA LLC
75 WEST VIKING DRIVE, SUITE 104
LITTLE CANADA, MINNESOTA 55117
PHONE (651) 484-5635
FAX (651) 484-5701

DEVELOPER
RJ MARCO CONSTRUCTION, INC.
75 WEST VIKING DRIVE, SUITE 104
LITTLE CANADA, MINNESOTA 55117
PHONE (651) 484-5635
FAX (651) 484-5701



SHEET INDEX

SHEET	TITLE
CO-1	TITLE SHEET
CO-1	EXISTING CONDITIONS
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CO-2	DETAIL SHEET

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE
Date: 7/25/06

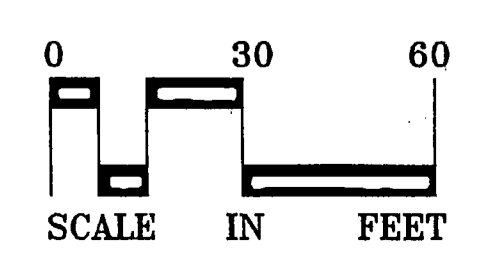
DATE	REVISION
6-30-06	CITY SUBMITTAL
7-19-06	CITY COMMENTS

QUALITY MANAGEMENT REVIEW:
BY: _____ DATE: _____

LOUCKS ASSOCIATES
Planning • Civil Engineering • Land Surveying
Environmental • Archeology
7200 Bendick Lane, Suite 300, Minneapolis, Minnesota 55425-5002
Telephone: (763) 424-2000 Fax: (763) 424-9822
No Page Technology, Inc.

EXISTING CONDITIONS

PROJECT NO.	99-190F
CITY COMMENTS	C1-1



SITE PLAN GENERAL NOTES

- SETBACKS:**
 Front building setback = 35' Front parking setback = 5.5'
 Side building setback = 10' Side parking setback = 5.5'
 Rear building setback = 20' Rear parking setback = 5.5'
- ZONING:**
 Existing zoning = B-3 PUD Proposed zoning = B-3 PUD
- PARKING SUMMARY:**
 Surface regular stalls = 56 Surface Handicapped stalls = 2
 Total Surface stalls = 58 Surface stalls required = 58
- AREA/DENSITY:**
 Total Plat Area = 175,145 Sq.Ft. or 4.02 Acres = 100%
 Lot 1, Block 2 Area = 87,120 Sq.Ft. or 2.0 Acres = 50%
 Lot 2, Block 2 Area = 88,025 Sq.Ft. or 2.0 Acres = 50%
- All paving, concrete curb, gutter and sidewalk shall be furnished and installed in accordance with the details shown per sheet CB-1 and the requirements of the City. See Landscape and Architectural Plans for any additional hardscape applications.
- The City Department of Engineering and Building Inspections Dept. and the construction engineer shall be notified at least 48 hours prior to any work within the street right of way (sidewalk, street or driveways)
- Minnesota State statute requires notification per "Gopher State One Call" prior to commencing any grading, excavation or underground work.
- See contract specifications for any removal details.
- Any sign or fixtures removed with in the right of way or as part of the site work shall be replaced by the contractor in accordance with the City requirements. The contractor shall preserve and maintain any existing street lights and traffic signs per the requirements of the City.
- Clear and grub and remove all trees, vegetation and site debris prior to grading. All removed material shall be hauled from the site daily. All clearing and grubbing and removals shall be performed per the contract specifications. Erosion control measures shall be immediately established upon removal. (See Sheet C3-1)
- The contractor shall be required to obtain all permits from the City as required for all work with the street and public right of way.
- A significant portion of site improvements not shown on this sheet are described and provided in further detail on the Architectural and Landscape Plans. This includes landscaping, lighting and other fixtures.
- B618 concrete curb and gutter shall be installed at the edge of all common drives and parking lots. Surmountable curb placed along the south side of the proposed building.

- LIST OF POSSIBLE USES:**
 RESTAURANT
 AUTOMOBILE SERVICE
 PROFESSIONAL OFFICE
 BANK
 MOTEL
 DAY CARE
 RETAIL SALES

CALL BEFORE YOU DIG!
Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166



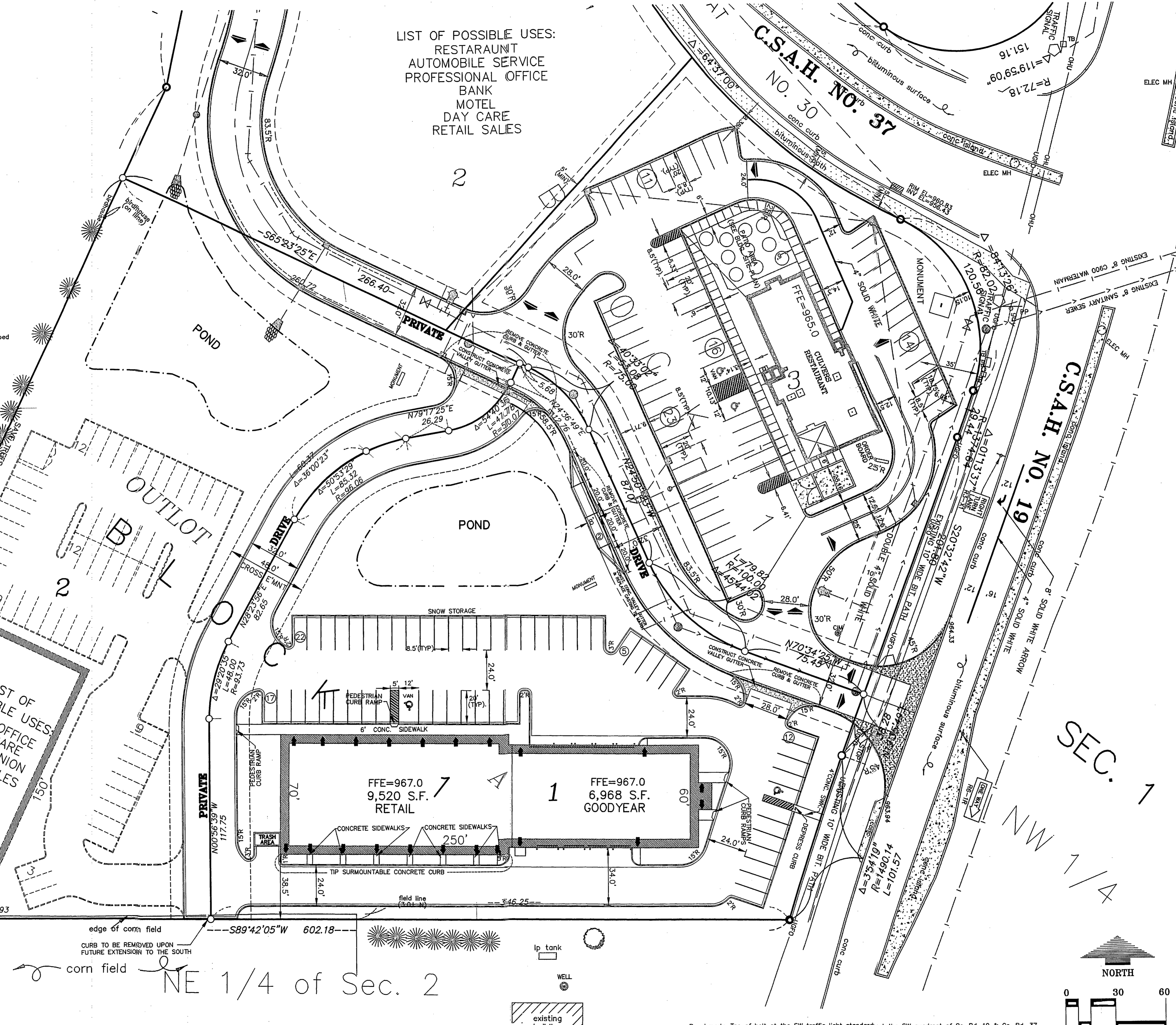
WEST WIND
OUTLOT
BB
2
1
LIST OF POSSIBLE USES:
 PROF. OFFICE
 DAY CARE
 CREDIT UNION
 RETAIL SALES
 FFE=967±
 10,500 S.F.

PARKSIDE
FOURTH
ADDITION

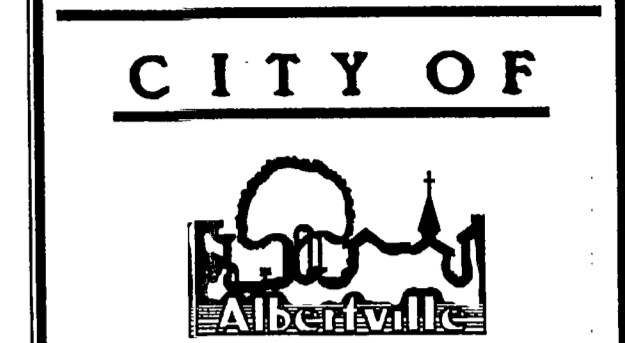
NE 1/4 of Sec. 2



Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.



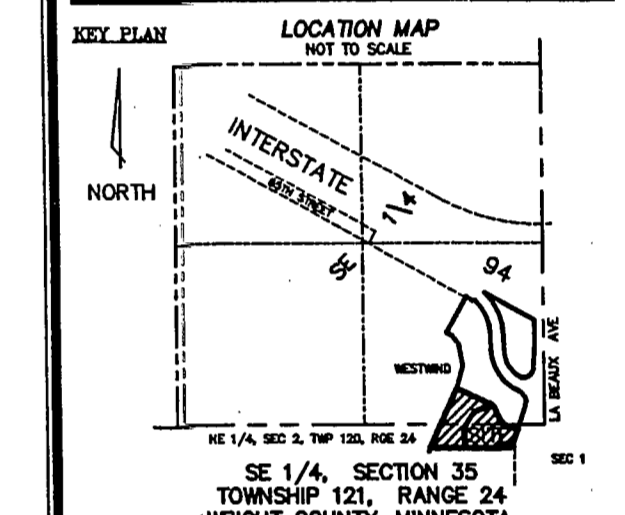
ALBERTVILLE PLAZA 2ND ADDITION



MINNESOTA

ALBERTVILLE PLAZA LLC
 75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5685
 FAX (651) 484-5701

RJ MARCO CONSTRUCTION, INC.
 75 WEST VIKING DRIVE, SUITE 104
 LITTLE CANADA, MINNESOTA 55117
 PHONE (651) 484-5685
 FAX (651) 484-5701



SHEET INDEX

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CS-1	STORM WATER POLLUTION PREVENTION PLAN
CS-1	PRELIMINARY PLAT
CS-1	DISTAL SHEET
CS-2	DISTAL SHEET

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan
 Jonathan J. Donovan - PE
 44613 License No. 7-25-06 Date

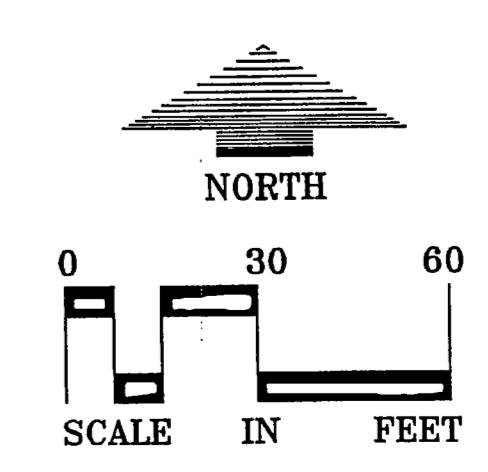
DATE	REVISION

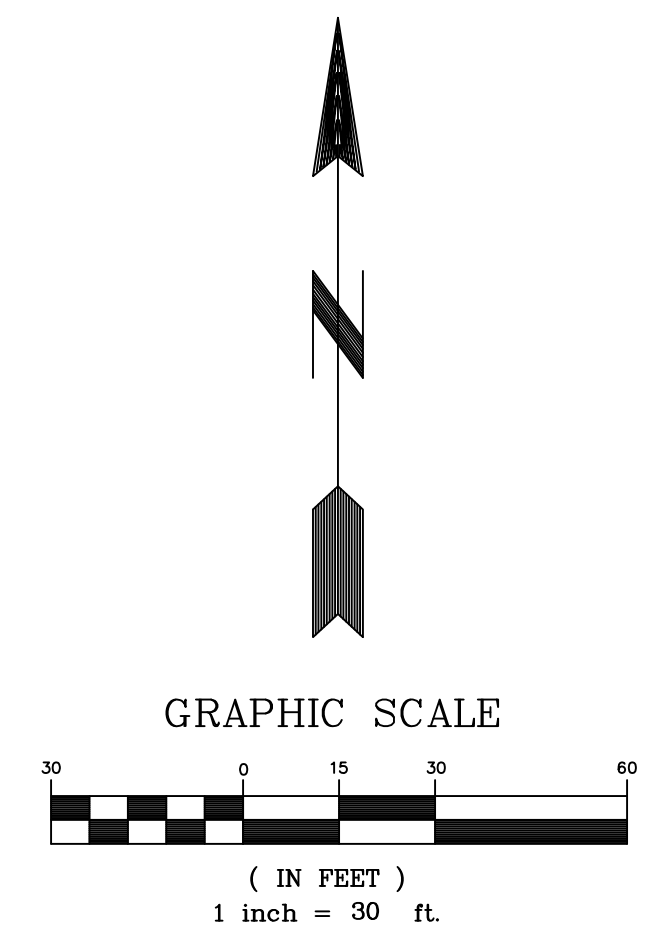
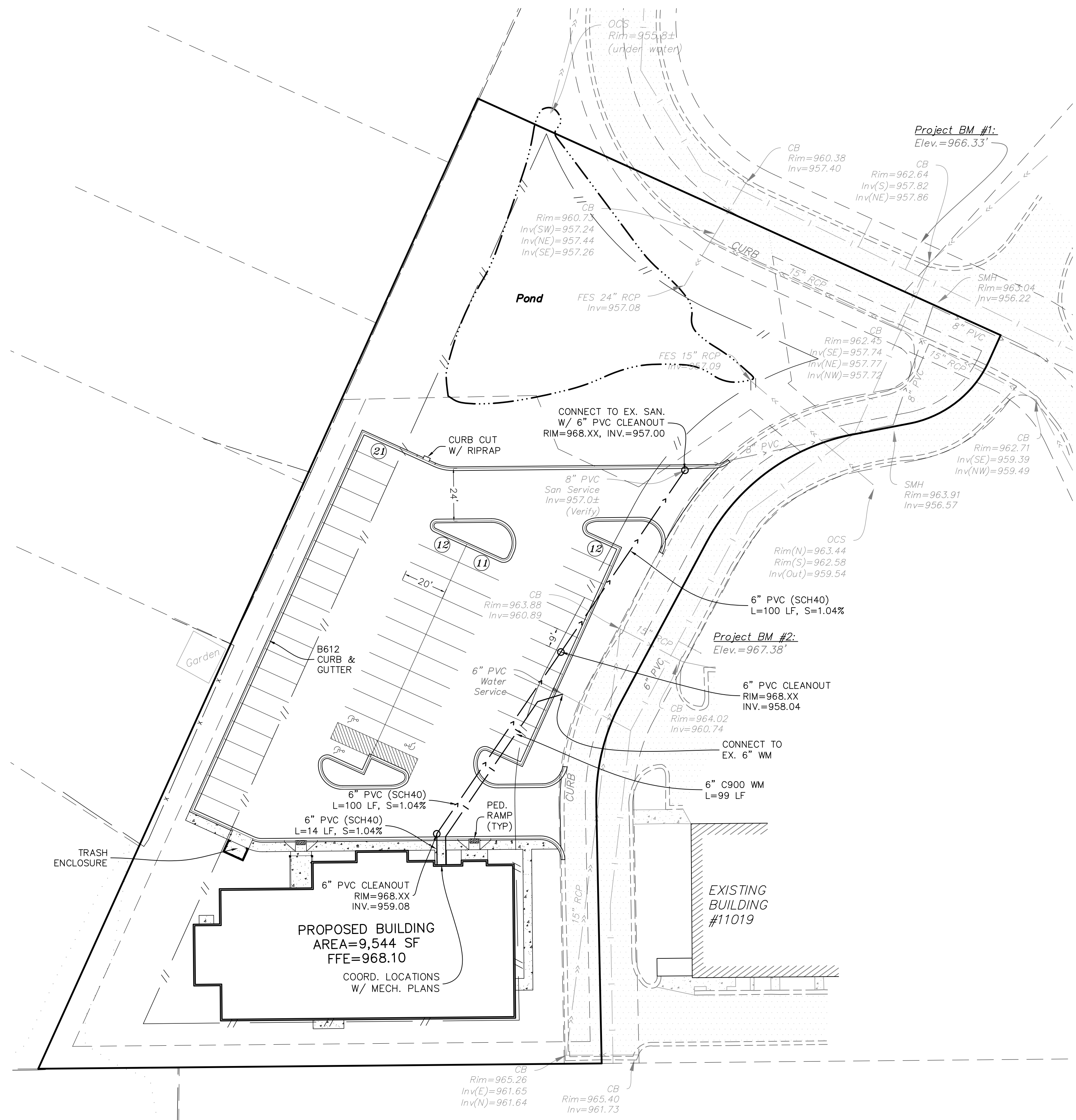
QUALITY MANAGEMENT REVIEW

LOUCKS ASSOCIATES
 Planning • Civil Engineering • Land Surveying
 Environmental • Archaeology
 7200 Bendick Lane, Suite 200, Minneapolis, Minnesota 55425-5502
 Telephone: (612) 835-2200 Fax: (612) 835-2822
 4th Page: loucksassociates.com

SITE PLAN

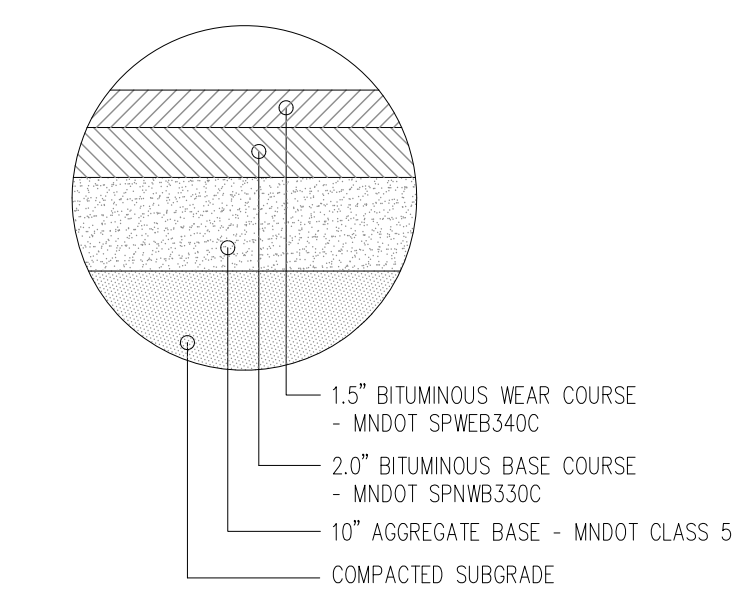
PROJECT NO. 99-190F **C2-1**





NOTES:

1. BASE PLAN USED IS A SURVEY PREPARED BY BOGART PEDERSON & ASSOCIATES.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF ALBERTVILLE AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. LOT AREA=88,003 SF (2.02 AC)
EXISTING IMPERVIOUS AREA=9,313 SF (10.6%)
PROPOSED IMPERVIOUS AREA=43,297 SF (49.2%)
5. 56 PARKING STALLS (INCLUDING 3 ACCESSIBLE STALLS).



NOTE: PAVEMENT SECTION MAY BE REVISED IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS
PAVEMENT SECTION
NO SCALE

Exhibit B

REVIEW PLAN
NOT FOR CONSTRUCTION

www.starkengineer.com
350-249-2611
Stark, Rapids, Minnesota

STARK ENGINEERING

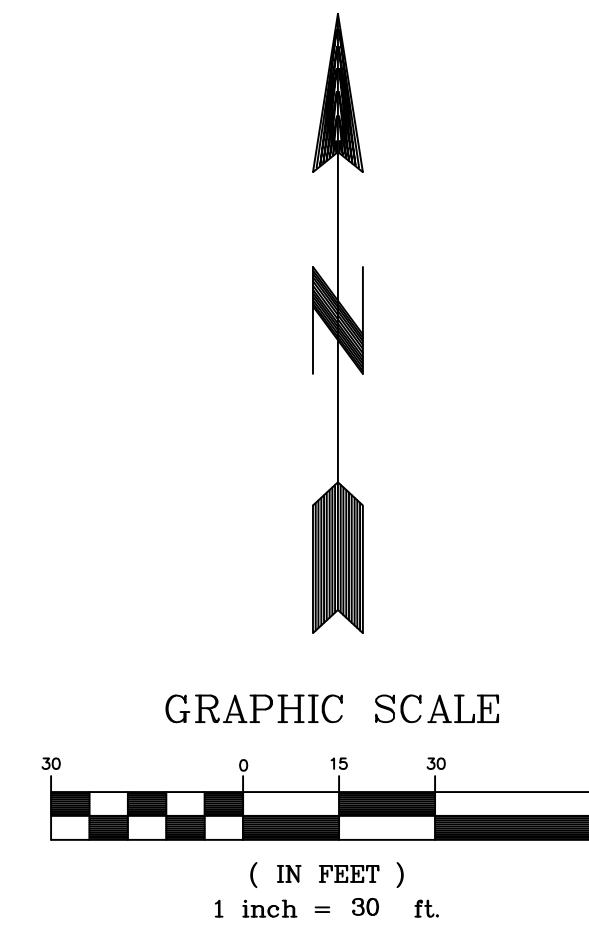
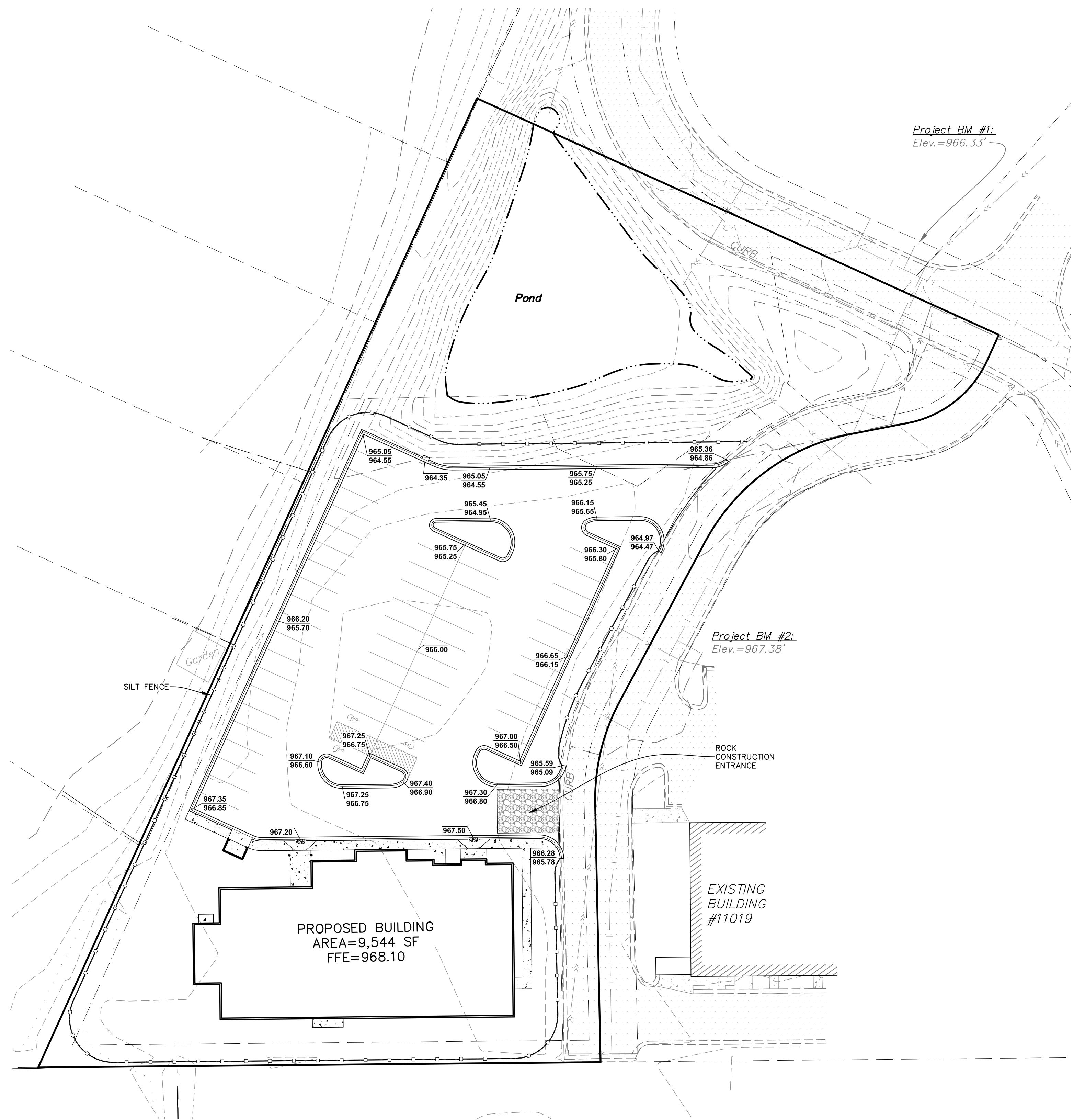
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota
Wayne C.B. Stark Date: 7/11/24 Registration No.: 26093

REVISIONS	DATE	PER REVIEW	CITY SUB.
6/28/24			
7/11/24			

SITE AND UTILITY PLAN

GRAVITY DANCE STUDIO
ALBERTVILLE, MINNESOTA
for:
AXYS CONSTRUCTION

SHEET
C-1
OF 2 SHEETS



NOTES:

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4. THE FOLLOWING SEQUENCE AND PROTOCOLS SHALL BE FOLLOWED FOR EROSION AND SEDIMENT CONTROL DURING THE SITE DEVELOPMENT PROCESS:
 - A. INSTALL PERIMETER CONTROLS (SILT FENCE & ROCK ENTRANCE) AS SHOWN ON THE PLANS PRIOR TO START OF WORK.
 - B. NO CONCRETE WASHOUTS ARE ALLOWED ON THE PROJECT SITE. SOIL STOCKPILES SHALL HAVE PERIMETER CONTROL AND HAVE TEMPORARY SEED AND MULCH.
 - C. MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH 1/2" OR MORE RAIN EVENT. CLEAN OR MAINTAIN THESE DEVICES AS NEEDED TO BE EFFECTIVE. REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
 - D. REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN IT OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT.
 - E. PERFORM GRADING, EXCAVATION AND EMBANKMENT. SEED AND MULCH ALL DISTURBED AREAS OUTSIDE OF PROPOSED BUILDING AND PAVEMENT AREAS WITHIN 72 HOURS OF THIS WORK.
 - F. INSTALL UTILITIES, CONSTRUCT BUILDING AND PAVEMENT SECTION. FINE GRADE SITE AND RESTORE GREEN AREAS WITH PERMANENT VEGETATION OF SOD/SEED PER PLANS.
 - G. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED WITH AT LEAST 70% COVERAGE.

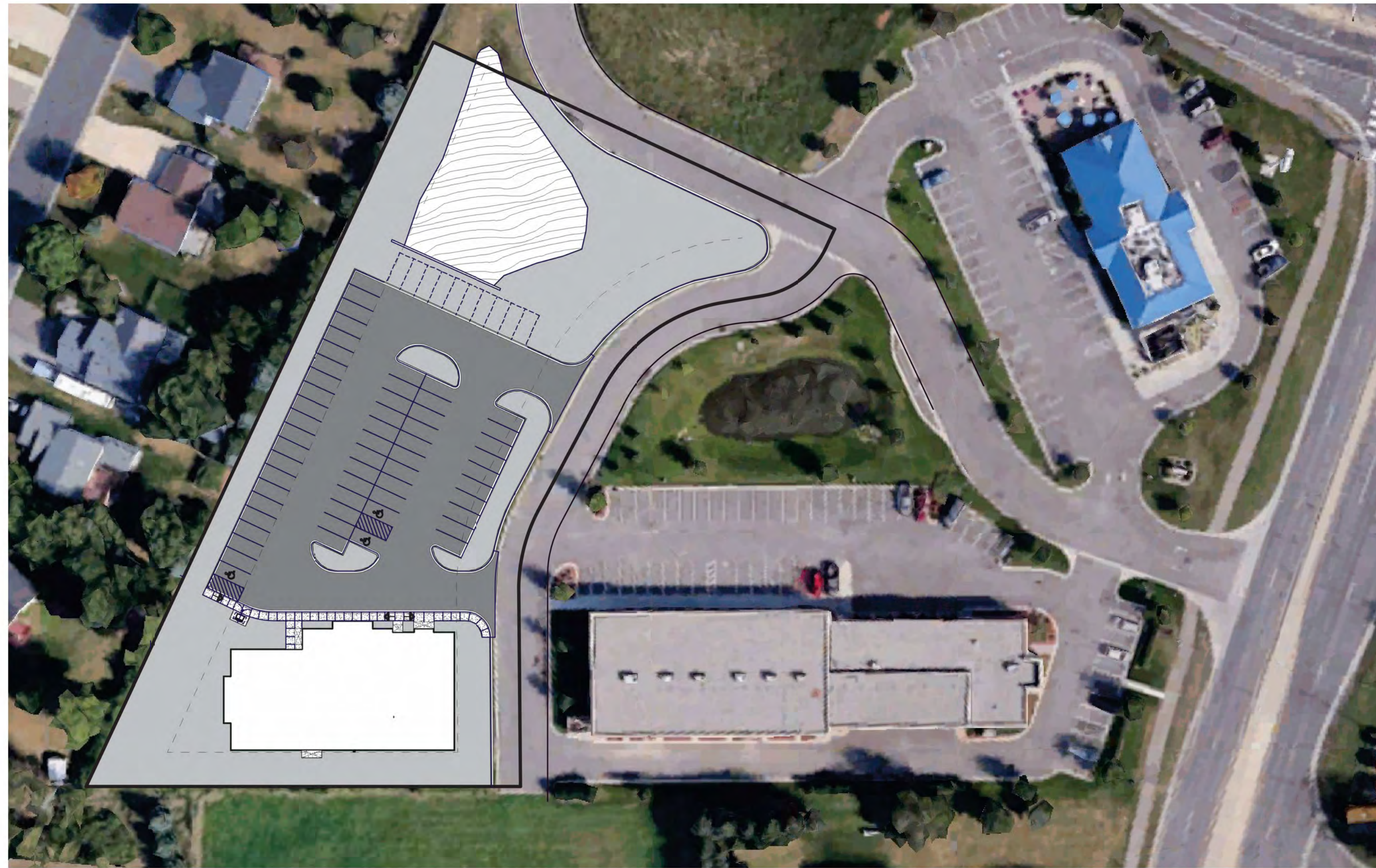
REVISIONS	CITY SUB.
7/11/24	

GRADING AND EROSION CONTROL PLAN

GRAVITY DANCE STUDIO
 ALBERTVILLE, MINNESOTA
 for:
 AXYS CONSTRUCTION

Exhibit C

**REVIEW PLAN
NOT FOR CONSTRUCTION**



2 Site w/ Aerial
SCALE: 1" = 50'

Landscape Legend

- 8 Red Maple 2" B&B: Mature Size 45'H x 35'W
- 6 Boulevard Linden 2" B&B: Mature Size 50-60'H x 25-30'W
- 7 Velvet Pillar Crab 1.5" B&B: Mature Size 20'H x 10-15'W
- 24 Nannyberry Viburnum #10 Cont.: Mature Size 10-20'H x 6-10'W
- 21 Dwarf Bush Honeysuckle #2 Cont.: Mature Size 3-4'H x 3'W
- 14 Magic Carpet Spirea #2 Cont.: Mature Size 1.5-2'H x 1.5-2'W
- 17 Iroquois Beauty Chokeberry #2 Cont.: Mature Size 3-4'H x 3-5'W
- 11 Karl Foerster Reed Grass #1 Cont.: Mature Size 48"H x 30"W
- 6 Apricot Sparkles Daylily #1 Cont.: Mature Size 15"H x 12-18"W
- 11 Forever Purple Heuchera #1 Cont.: Mature Size 10"H x 22"W
- 8 Autumn Fire Sedum #1 Cont.: Mature Size 10"H x 22"W
- 1.5" Decorative Rock Mulch
- Sod: Kentucky Blue Grass Mix
- Hydroseed: No Mow Fescue Mix (Twin City Seed Co. or approved Alt.)
- Black Poly Edging: Commercial Grade (5" Black Jack or approved Alt.)

Landscape Plan



Exhibit D



4918 S. Tri Oak Circle NE
East Bethel, MN 55092

Phone 651-245-2346
www.michaelthomasarchitect.com

Project No:
24009

Date Last Revised:
05-26-24, 06-01-24, 06-12-24,
06-16-24

File Name:
24009_Axys Gravity Dance
Studio 06-16-24.pln

Drawn By:
MJT

Minnesota License No.:
23592

Date Signed:
06-00-00

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature

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Preliminary Do Not Use for Construction

Gravity Dance Studio
New Building Built to Suite by Axys Construction
New Corner of Labeaux Avenue NE & County Road 37 NE
Albertville, MN 55301

A1.0a

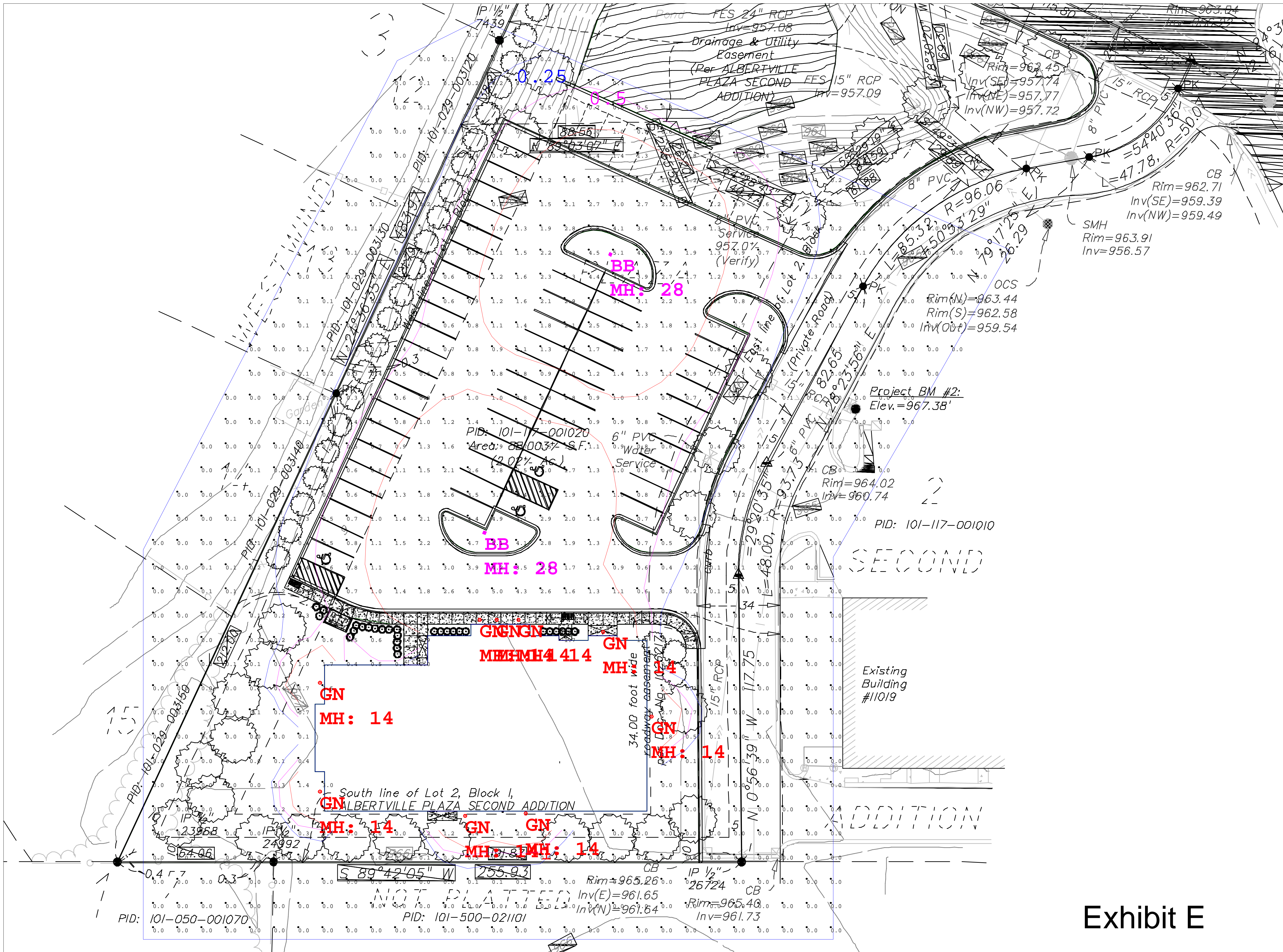


Exhibit E

Calculation Summary		Units	Avg	Max	Min	Avg/Min	Max/Min	
Label	CalcType	Fc	0.63	9.1	0.0	N.A.	N.A.	
Ground_Planar	Illuminance							
Luminaire Schedule								
Symbol	Qty	Arrangement	Description	Label	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
□	2	Single	A22 5T@200W4000K	BB	0.910	28615	190	380
○	9	Single	GNLED26NSTB_FLOOD REF_FROSTED LENS	GN	0.910	1318	28.5	256.5

Drawn By: Daniel Budke
Checked By:
Date: 6/20/2024

Scale:

#	Date	Comments
Revisions		

Gravity Dance Studio

Exterior

Page M of 1



Assembly A-3 Dance Hall
Exercise Room Occupant Load Factor 50 sf = 76 Occupants

Gravit Dance Studio SF = 7,000
Tenant Space SF = 2,544
Total Gross SF = 9,544



4918 S. Tri Oak Circle NE
 East Bethel, MN 55092
 Phone 651-245-2346
 www.michaelthomasarchitect.com

Project No:
 24009
 Date Last Revised:
 05-24-24, 06-01-24, 06-12-24,
 06-16-24, 06-29-24, 07-04-24

File Name:
 24009 Axys Gravity Dance
 Studio 07-04-24.pln
 Drawn By:
 MJT

Minnesota License No.:
 23592

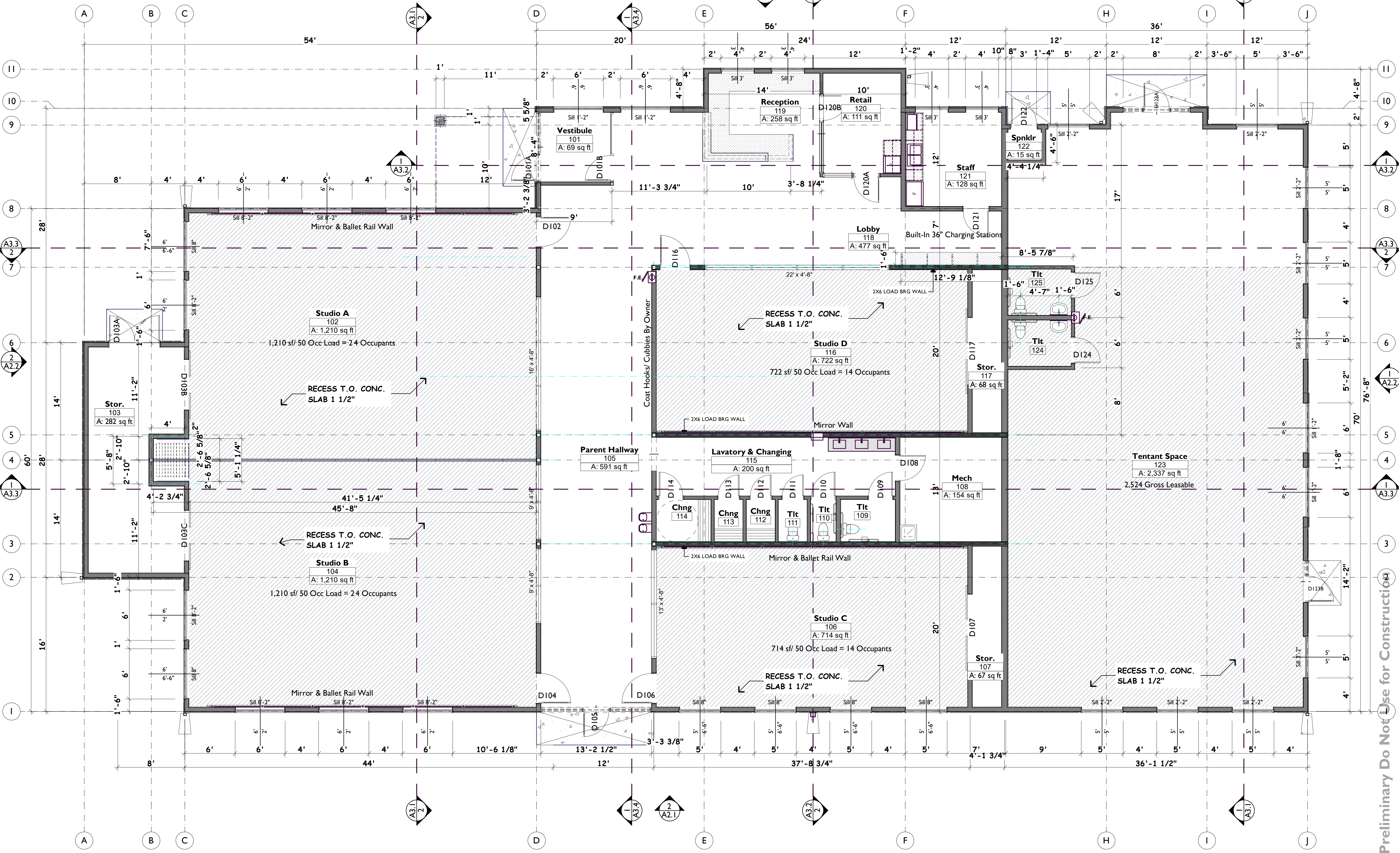
Date Signed:
 00-00-00

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Signature

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SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

1 First Story Floor Plan
 SCALE: 3/16" = 1'-0"

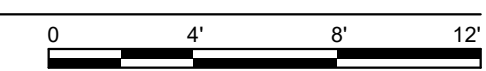
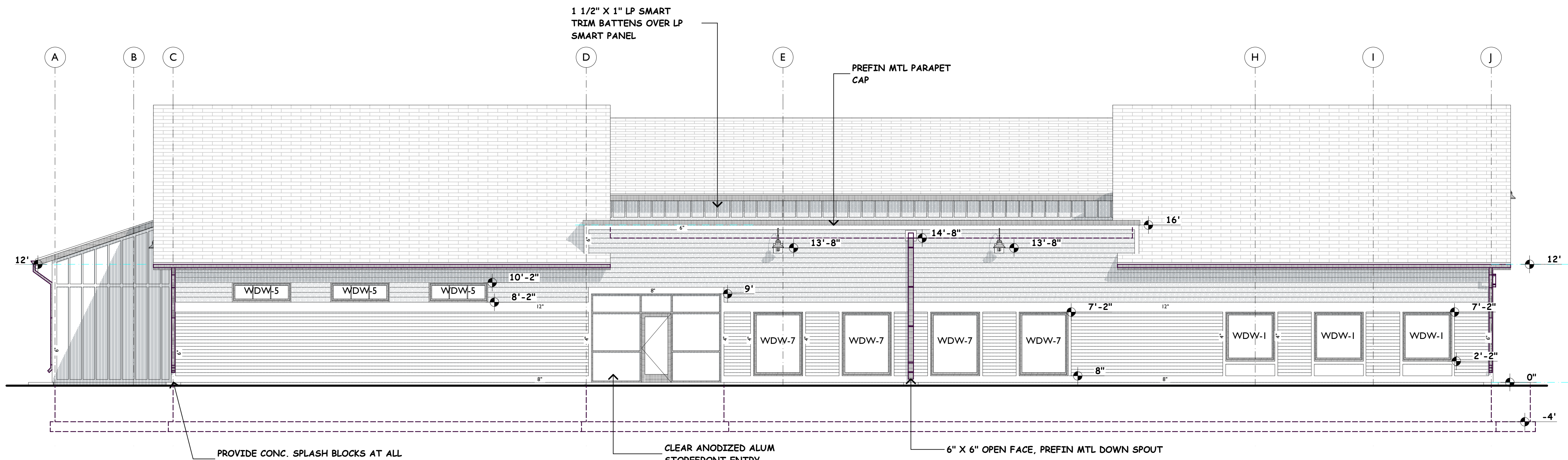


Exhibit F

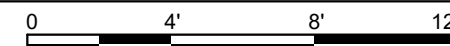
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 New Corner of Labeaux Avenue NE & County Road 37 NE
 Albertville, MN 55301

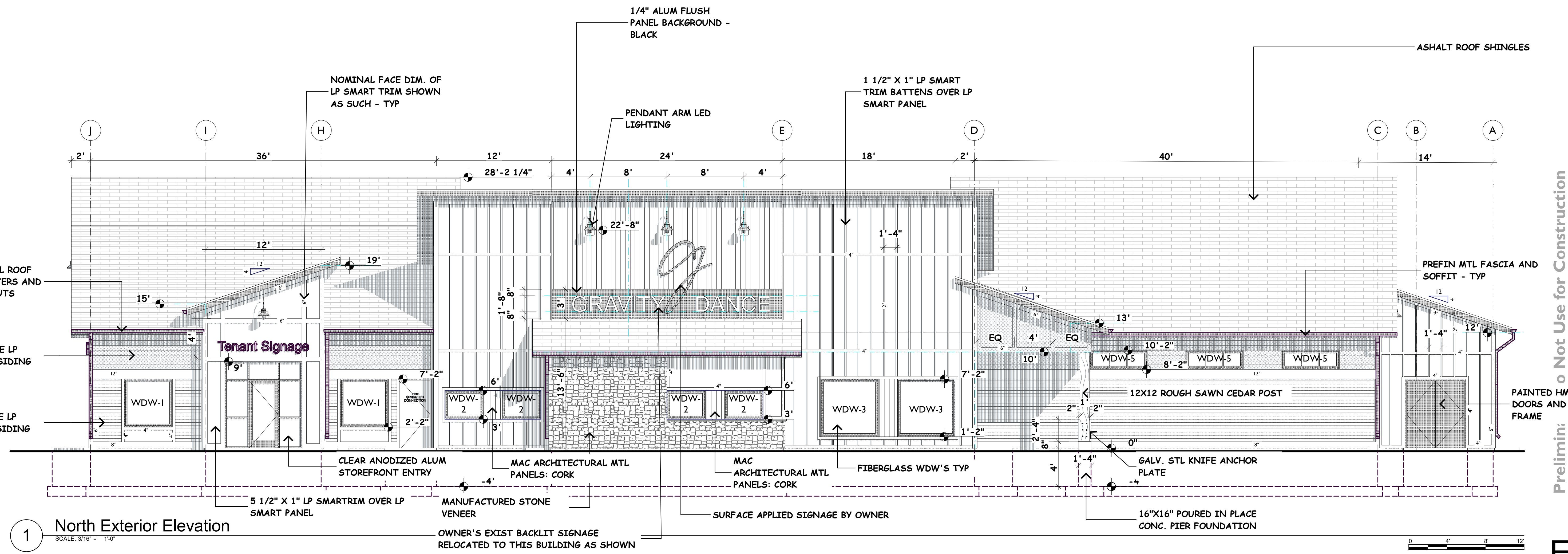
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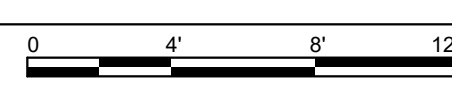
2 South Exterior Elevation
SCALE: 3/16" = 1'-0"



SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



1 North Exterior Elevation
SCALE: 3/16" = 1'-0"



Prelimin: o Not Use for Construction

Gravity Dance Studio
 New Building Built to Suite by Axys Construction
 New Corner of Labeaux Avenue NE & County Road 37 NE
 Albertville, MN 55301

A2.I

Exhibit G

ALL TRIM TO BE LP CAVERN STEEL UNLESS NOTED OR SHOWN OTHERWISE



LP 6" CEDARMILL LAP SIDING
COLOR: TERRA BROWN

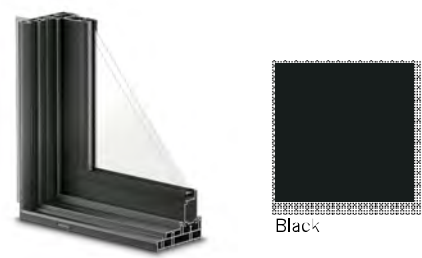


LP 4" CEDARMILL LAP SIDING
COLOR: CAVERN STEEL

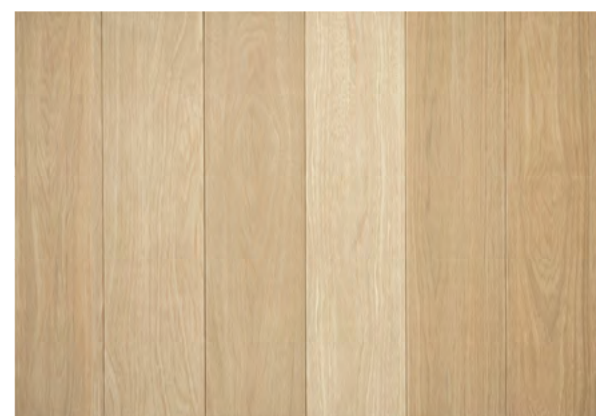
LP CEDARMILL SMART PANEL
COLOR: CAVERN STEEL



LP CEDARMILL SMART PANEL W/
1"X 1 1/2" BATTENS @ 16" O.C.
PANNEL AND BATTEN COLOR:
ABYSS BLACK



FIBERGLASS WINDOWS
ANDERSON 100 SERIES FIBREX
COLOR: BLACK



MAC ARCHITECTURAL MTL
PANELS. HARRYWOOD PROFILE.
6 1/16" X 3/8" X 12' PANELS.
COLOR/ PATTERN: CORK



LP CEDARMILL SMART PANEL W/
1"X5 1/2" BATTENS AS SHOWN



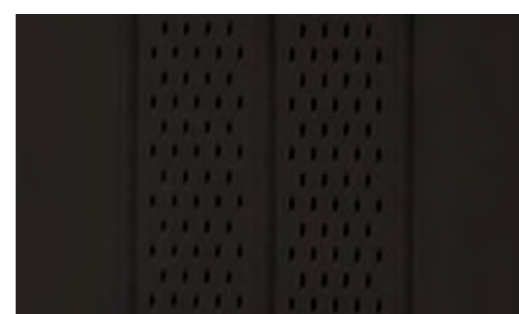
ALUM STOREFRONTS
BLACK ANODIZED
FINISH



MAC ARCHITECTURAL METAL
PANELS. HARRYWOOD
PROFILE. 6 1/16" X 3/8" X
12' PANELS. COLOR/
PATTERN: BLACK WALNUT



FIBERGLASS SHINGLES
GAF TIMBERLINE HD
SHINGLES
COLOR: CHARCOAL



PREFIN MTL ROOF SOFFITS,
FASCIAS, DRIP CAPS, RAIN
GUTTERS, DOWNSPOUTS AND
MISC. BREAK MTL. EDco COLOR:
BLACK



MANUFACTURED STONE
VENEER
BOULDER CREEK. VERIFY
PROFILE AND COLOR



4 24009 Axys Gravity Dance Studio 07-04-24 - East Color Elevation
SCALE: 1:0.94



3 24009 Axys Gravity Dance Studio 07-04-24 - West Color Elevation
SCALE: 1:0.84



2 24009 Axys Gravity Dance Studio 07-04-24 - South Color Elevation
SCALE: 1:0.53



1 24009 Axys Gravity Dance Studio 07-04-24 - North Color Elevation
SCALE: 1:0.53

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

Preliminary Do Not Use for Construction

Gravity Dance Studio
New Building Built to Suite by Axys Construction
New Corner of Labeaux Avenue NE & County Road 37 NE
Albertville, MN 55301

A0.1

Exhibit H

**CITY OF ALBERTVILLE
COUNTY OF WRIGHT
STATE OF MINNESOTA**

RESOLUTION NO. 2024-28

**RESOLUTION APPROVING REQUESTS FOR GRAVITY DANCE STUDIO
PUD DEVELOPMENT SITE AND BUILDING PLANS FOR LOT 2, BLOCK 1,
ALBERTVILLE PLAZA 2ND ADDITION TO ALLOW FOR THE CONSTRUCTION
A 9,544 SQ. FT. COMMERCIAL BUILDING CONTAINING A 7,000 SQ. FT.
DANCE STUDIO AND 2,544 SQ. FT. COMMERCIAL TENANT BAY WITHIN
THE CITY OF ALBERTVILLE**

WHEREAS, Gravity Dance Studio has submitted application for the consideration of a PUD development stage site and building plan review to allow for the construction of a 9,544 sq. ft. commercial building containing a 7,000 sq. ft. Gravity Dance Studio and a 2,544 sq. ft. commercial tenant bay on Lot 2, Block 1, Albertville Plaza 2nd Addition; and

WHEREAS, City Staff has reviewed submitted plans and prepared a planning report dated August 2, 2024; and

WHEREAS, the Albertville Planning Commission met and held a public hearing on August 14, 2024, to consider the application for Gravity Dance Studio PUD site and building plans; and

WHEREAS, upon considering the application materials, the August 2, 2024 Planning Report and public testimony, the Planning Commission closed the public hearing and recommended that the City Council approve the requested application for a PUD development stage site and building plans to allow for the construction of a 9,544 sq. ft. commercial building with the findings and conditions outlined in the August 2, 2024, Planning Report; and

WHEREAS, upon considering the application materials, the August 2, 2024, Planning Report and the recommendations of the Planning Commission, the City Council agrees with the findings and recommendations of City Staff and the Planning Commission.

NOW, THEREFORE BE IT RESOLVED, that the City Council of Albertville, Minnesota hereby approves the Gravity Dance School PUD development stage site and building plans for Lot 2, Block 1, Albertville Plaza 2nd Addition to allow for the construction of a 9,544 sq. ft commercial building based on building plans dated July 4, 2024, and Civil plans dated July 11, 2024, with the following conditions.

1. The property owner shall be required to be a member of a business property owners' association for the subdivision which is responsible for the maintenance and upkeep of the common elements including, but not limited the private streets, streetlights and the shared stormwater ponds
2. The site plan shall demonstrate truck turning movements to accommodate trash handling and delivery vehicles moving through the site.

3. The City retains the right to require the proof of parking stalls be constructed if parking occurs outside of approved parking stalls or on the private street.
4. Disability parking stalls shall include proper signage.
5. The applicant shall be required to provide a detail of the trash enclosure demonstrating that its exterior finish materials match or complement the principal building.
6. The Nannyberry Viburnum must be shrubs rather than trees to be an effective screen.
7. The grading and erosion control plan shall be subject to review and approval by the City Engineer.
8. The utility plan shall be subject to review and approval by the City Engineer.
9. Applicant shall provide details on the exterior light fixture. All lights must be 90-degree cutoff fixtures with shielded light source to prevent glare toward the residential properties.
10. Freestanding light fixtures shall not exceed the maximum 30-foot height requirement of the Ordinance.
11. The site and building plans shall show the location and screening of ground mounted or rooftop mechanical equipment.

Adopted by the City Council of the City of Albertville this 3rd day of September 2024.

Jillian Hendrickson, Mayor

ATTEST:

Kristine A. Luedke, City Clerk

September 3, 2024

SUBJECT: PLANNING – SHOPPES AT PRAIRIE RUN 2 – SI SENOR RESTAURANT APPLICATIONS

RECOMMENDATION: It is respectfully requested that the Mayor and Council consider the following:

MOTION TO: Adopt Resolution No. 2024-29 approving requests for an amendment to the Shoppes of Prairie Run 2 Site and Building Plans for Lot 1, Block 1 Shoppes At Prairie Run 2 to allow the Si Senior Commercial Building and for the construction of a 7,227 Sq. Ft. Commercial Building containing a 4,832 Sq. Ft. Restaurant and 2,395 Sq. Ft. Commercial Tenant Bay at 5292 Kyler Avenue NE within the City of Albertville.

BACKGROUND: Heidi Ortiz has submitted a development application for an amendment to the Shoppes of Prairie Run 2 Planned Unit Development (PUD) to allow for the construction of a 4832 sq. ft. restaurant and 2395 sq. ft. tenant bay on lot 1, Block 2 Shoppes at Prairie Run 2.

The Shoppes of Prairie Run Planned Unit Development and Plat was approved in 2004, to allow for two identical 12,000 sq. ft. multiple tenant commercial buildings. The southern building was constructed, however, the north building never proceeded. The current proposal changes the building configuration and site design for Lot 1, Block 2, Shoppes at Prairie Run 2 requiring a PUD Amendment.

City Staff has reviewed the applications and submission materials and prepared the August 1, 2024, Planning Report.

The Albertville Planning Commission held a public hearing to consider the development application and staff reports on August 13, 2024. Upon conclusion of the public hearing, the Planning Commission recommended approval of the development application with the conditions outlined in the August 1, 2024, Planning Report.

KEY ISSUES:

- The Shoppes at Prairie Run 2 was approved as a PUD/CUP in 2004 to allow for the construction of twin 12,000 shopping centers on two lots. The Si Senior application proposes an amendment to allow for a new building and site design for Lot 2, Block 1, Shoppes of Prairie Run 2. The new application proposes a 7,227 sq. ft. commercial building containing a 4,832 sq. ft. sit-down restaurant and 2,395 sq. ft. commercial tenant bay.
- The site is zoned B-2, the proposed restaurant, outdoor dining, and commercial tenant bay are allowed conditional uses.
- The original Shoppes of Prairie Run 2 established shared access for the properties within the subdivision. The proposed development maintains this access design. Cross access easements must be established between the Lots.

- The Si Senior project is required to enter into an agreement with the adjoining property owner to manage, maintain and repair the private shared driveways.
- Lot 1, Block 1, Shoppes of Prairie Run 2 meets the lot area and width requirements of the B-2 zoning district. The building's location meets all the setbacks of the B-2 district.
- The proposed Si Senior commercial building meets the City's B-2 district architectural standards.
- The August 1, 2024, Planning Report, outlines the conditions and PUD flexibility that are recommended for approval of the amended PUD Site and Building plans. These conditions have been reviewed and recommended for approval by the Albertville Planning Commission.

POLICY/PRACTICES CONSIDERATIONS: The Albertville Planning Commission held a public hearing on August 13, 2024, and agreed with the recommendations outlined in the August 1, 2024, Planning Report. Upon closing a public hearing, the Planning Commission recommended that the City Council approve the Si Senior development applications for an amendment to the Shoppes at Prairie Run 2 PUD site and building plans based on plans dated June 26, 2024, for Lot 1, Block 1 Shoppes at Prairie Run 2 subject to the conditions outlined in the attached resolution.

FINANCIAL CONSIDERATIONS: All required on-site and off-site improvements shall be the responsibility of the developer.

LEGAL CONSIDERATIONS: The requested Si Senior development applications require a public hearing before the Planning Commission and final approval by the City Council per the Albertville zoning code.

Responsible Person: Alan Brixius City Planner

Submitted Through: Adam Nafstad, City Administrator-PWD

Attachments:

- August 1, 2024, Planning Report and Exhibits
- Resolution No. 2024-29

PLANNING REPORT

TO: Adam Nafstad
FROM: Alan Brixius
DATE: August 1, 2024
RE: Shoppes at Prairie Run – Si Senior Restaurant
FILE NO: 163.06 24.06

BACKGROUND

Heidi Ortiz has submitted a development application for an amendment to the Shoppes of Prairie Run Planned Unit Development to allow for the construction of a 4832 sq. ft. restaurant and 2395 sq. ft. adjacent tenant bay on lot 1, Block 2 Shoppes at Prairie Run 2.

The Shoppes of Prairie Run Planned Unit Development and Plat was approved in 2004, to allow for two identical 12,000 sq. ft. multiple tenant commercial buildings. The southern building was constructed, however, the north building never proceeded. The current proposal changes the building configuration and site design for Lot 1, Block 2, Shoppes at Prairie Run 2 requiring a PUD Amendment.

This report is an analysis of the new site plan against the past PUD approval and the City zoning standards.

EXHIBITS

- Exhibit A: Boundary Survey and Topography
- Exhibit B: Site Plan
- Exhibit C: Truck Movement plan
- Exhibit D: Grading Plan
- Exhibit E: Utility Plan
- Exhibit F: Landscape Plan
- Exhibit G: Building Footprint
- Exhibit H: Building Elevations
- Exhibit I: Building Renderings.

ANALYSIS

Zoning: The site is zoned B-2 Limited Business District. Within the B-2 district, offices and retail businesses are permitted uses. Restaurants and outdoor dining are allowed by conditional use permit.

Lot Size and Setbacks: The following table compares the proposed site plan with the B-2 zoning district lot size and setback requirements. The lot and building setbacks exceed all the B-2 Zoning district requirements.

B-2 District Standards	Required	Proposed	Compliance
Lot Area	10,000 sq. ft.	61,200 sq. ft.	Yes
Lot Width	100 ft.	360 ft.	Yes
Setbacks			
Front (East)	35 ft.	58.8 ft.	Yes
Side (North)	10 ft.	83.3 ft.	Yes
Side (South)	10 ft.	160 ft.	Yes
Rear (West)	20 ft.	36.2 ft.	Yes

Parking: Consistent with the original approved Shoppes at Prairie Run PUD site plan, the current site plan integrates the parking lot with the property to the south through shared access and interconnected parking lots. Site access is via two curb cuts from Kyler Avenue.

The zoning code requires the following parking counts for the proposed uses.

Restaurant:

Dining: 1 space per 40 sq. ft. of gross floor area.

Indoor dining: (1,923/40 = 48 spaces)

Outdoor dining: (96/40 = 22 spaces)

Kitchen: 1 space per 80 sq. ft. of gross floor area.

Kitchen area 1476 – cooler and storage 153 = 1323 sq. ft.

(1,323/80 = 17 spaces)

Retail: 1 space per 200 sq. ft of floor area (2395 x .9 = 2,154/200 = 11 spaces)

Total Parking Count Required: 98 spaces

Total Parking Count Provided: 93 spaces

By ordinance, the new development requires 98 parking stalls. The site plan provides 93 parking stalls. In the past, the City has approved a slight reduction in parking for outdoor dining recognizing that this is seasonal dining which does not create a full time demand for parking. The proposed site provides 93 parking stalls and has access to additional parking to the south. In this light, staff recommends approval of PUD flexibility for 93 parking stalls.

The site plan shows properly dimensioned parking stalls and drive aisles per code requirements. The parking lot meets the City standards with regard to setbacks, paving, striping and perimeter curbing. The site plan has the proper number and design of disability parking spaces.

Loading: The Applicant has provided a site plan showing delivery truck movements through the site. Restaurant deliveries are proposed be received at the front of the building with a WB-40 semi-truck and trailer. The truck movements plan shows that the truck can move through the site, however, the truck jumps the curb island on the north end of the parking lot. Increasing the curb radii will ease this truck movement.

The plan shows the movements for a 40 foot garbage truck accessing and egressing the trash enclosure. The plan illustrates that the garbage truck movements will interfere with parking stalls, curb islands and moves into the building to the south. The plan must be revised to accommodate garbage truck movements through the site.

Restaurants without drive-through facilities are allowed in the B-2 provided, that:

1. The site abuts a collector or minor arterial street or is included within an approved shopping center.

Comment: The site abuts County 19 which meets this requirement

2. A buffer yard of twenty feet (20') in width shall be provided at the boundaries abutting an R district in accordance with section [1000.7](#) of this ordinance.

Comment: The site does not abut a residential zoning district.

3. The operation shall be responsible for litter control on the site, which is to occur on a daily basis. Trash receptacles shall be screened.

Comment: The site provides for a trash enclosure on the south end of the site. The trash enclosure is designed to match the building. The site plan must be revised to accommodate garbage trucks through the site.

4. Outdoor dining facilities as regulated by this section.

Comment: See the following comments.

Outdoor dining facilities are allowed in the B-2 district provided that:

1. The applicant shall be required to submit a site plan and other pertinent information demonstrating the number, location and type of all tables, refuse receptacles, and wait stations.

Comment: The attached Exhibit G building floor plan shows the layout of the proposed outdoor dining area including access, aisles, table placement and total seating. Eight tables are proposed for the outdoor dining area with a total seating for 64 people.

2. Access to the dining area shall be provided only via the principal building if the dining area is a full-service restaurant or tavern, including table waiting service. All exit gates shall be marked "Exit Only" and shall meet all building code requirements.

Comment: The building plan provides a door access directly into the outdoor dining area. This is required to control access into the dining area for the service of food and alcoholic beverages. Both of the outdoor dining areas must be segregated from the main entrance via a fence to control access into the outdoor areas having liquor consumption.

3. The size of the dining area is restricted to twenty percent (20%) of the gross area of the current building and shall maintain the lot requirements of the district.

Comment: The proposed dining area is 1105 sq. ft. in an area exclusive of the pathway to the main restaurant entrance. The dining area comprises approximately 23% of the floor area of the restaurant bay. However, the code allows the dining area to be 20% of the gross floor space of the current building. The entire building is 7,227 sq. ft. in floor area. The proposed dining area is 15.2% of the total building. The northern tenant bay is intended for retail or office use. The proposed outdoor dining area may be approved as a PUD flexibility with the condition that this outdoor dining area will limit the opportunities for additional outdoor dining on this site in the future.

4. The dining area is screened from view from adjacent residential uses.

Comment: The site does not abut any residential uses.

5. All lighting shall be hooded at ninety degrees (90°) and directed away from adjacent properties. No luminaries shall extend beyond the ninety-degree (90°) cutoff.

Comment: The outdoor dining will be within a covered patio at the front of the building. All lighting will be internal in the dining area. The building renderings show wall mounted exterior lights. The Applicant shall provide a detailed lighting and photometric plan including the number, location of all freestanding and wall mounted lights and details on the types of light fixtures and details of the pole design and height of freestanding lights.

6. No outdoor dining shall be allowed on the public sidewalk.

Comment: This requirement is not applicable to the site.

7. The dining area is surfaced with concrete bituminous or decorative pavers or may consist of a deck with wood or other flooring material that provides a clean, attractive, and functional surface.

Comment: This requirement is met.

8. A minimum width of thirty six inches (36") shall be provided within aisles of the outdoor dining area.

Comment: This requirement is met.

9. Off street parking shall be adequate for both indoor and outdoor seating areas.

Comment: Adequate parking is provided for both the indoor and outdoor seating areas.

10. Refuse containers are provided for self-service outdoor dining areas. Such containers shall be placed in a manner which does not disrupt pedestrian circulation and must be designed to prevent spillage and blowing litter.

11. Property owners shall pick up litter within one hundred feet (100') of the patio area.

Comment: Items 10 and 11 are addressed as the outdoor dining will be contained within a covered patio. The area will be policed and kept by wait staff.

12. Live outdoor music performance shall meet the requirements of section [5-5-3](#) of the city code.

Comment: This is not applicable.

13. Electronically amplified outdoor music, intercom, audio speakers, or other such noise generating devices may be allowed in the outdoor dining area, provided the lot on which the outdoor dining area is located doesn't abut a residential use or zoning district. The playing of outdoor music shall not become a nuisance as defined by Title 5, Chapter 1 of the Albertville City Code.

Comment: The site does not abut a residential district. Any noise issues would be subject to nuisance code requirements.

14. No outdoor bar, cooking facility, food preparation or holding area shall be established.

Comment: No outdoor cooking facilities are proposed with this application.

15. The City Council may limit the hours of operation.

Comments: The site is isolated from residential neighborhoods. No nuisance issues are anticipated. No restrictions on the hours of operation are recommended.

Grading, Drainage and Wetlands: Exhibit A, site survey shows a wetland on the north end of the site. Applicant must pursue WCA approvals for the mitigation of this wetland.

Grading and drainage plans shall be reviewed and approved by the City Engineer.

Utility Plan: In review of the utility plan, we offer the following comments.

1. The City Engineer shall review and approve the utility plan.
2. The building shall have separate potable water and fire suppression services going into the building.

Landscape plan: In review of the submitted landscape plans, we offer the following comments.

1. The landscape plan is generous in the number and types of plantings.
2. The plant sizes and species meet code requirements.
3. The landscape plan must identify snow storage areas to avoid damaging the landscape areas of the site.

Building Design: Within the B-2 zoning district, all building exterior wall finishes shall be constructed of materials containing only brick, dimension stone, glass, stucco and its replicas, wood, rock faced block, or precast concrete panels.

The building elevations illustrate the exterior building materials consisting of white EIFS with brick face accents. The patio roof will be metal. The building design is attractive and meets the B-2 district architectural requirements.

The building and site plan must show the locations of all ground and/or rooftop mounted mechanical equipment. Said mechanical equipment shall be screened from the adjoining streets and properties.

CONCLUSION.

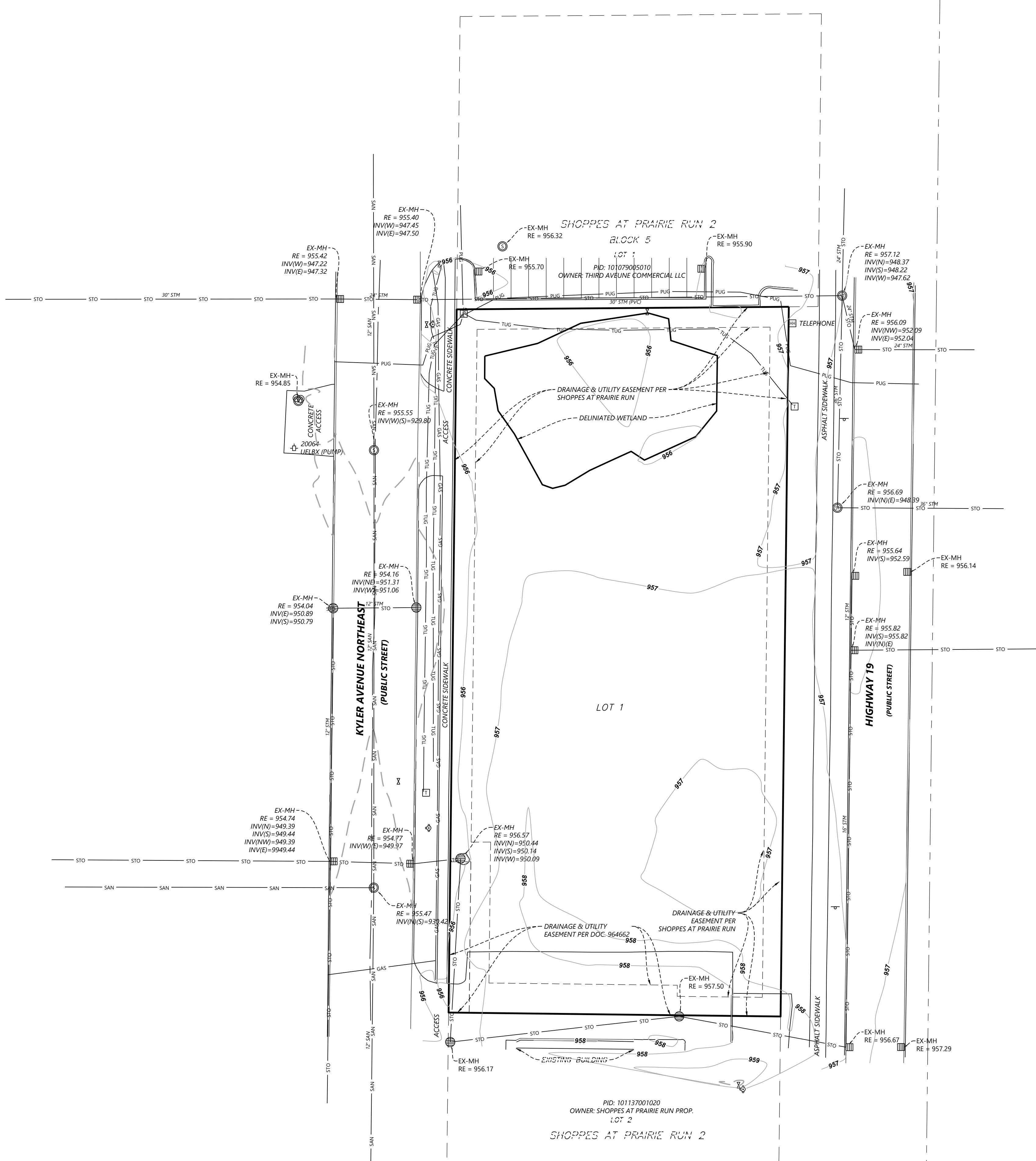
Based on our review of the Si Senor Mexican Restaurant conceptual building plans dated June 26, 2024, and Civil plans dated July 16, 2024, we recommend approval of the amendment to the Shoppes at Prairie Run CUP/PUD with the following conditions.

1. The City approves the parking count as illustrated on the site plan as condition of the PUD.
2. The plan must be revised to accommodate garbage truck movements through the site without interfering with on-site parking stalls or travelling over parking lot curbs.
3. The Applicant shall establish cross-access easement between Lots 1 and 2, Block 1, Shoppes at Prairie Run 2 to provide shared access through these lots. Said cross-access easement shall be approved by the City Attorney and recorded with the County.
4. The outdoor dining area is approved as being 20% or less than the entire building's total floor area. This will be counted against any future outdoor dining areas requested for the building.
5. The outdoor dining areas must be segregated from the pathway to the main entrance. Access to the outdoor dining areas shall be provided only via the principal building if the dining area is a full-service restaurant or tavern, including table waiting service. All exit gates from the outdoor dining area shall be marked "Exit Only" and shall meet all building codes.
6. The Applicant shall provide a detailed lighting and photometric plan including the number, location of all freestanding and wall mounted lights and details on the types of light fixtures and details of the pole design and height of freestanding lights.
7. Applicant shall provide documentation of WCA approval of the wetland mitigation for the site.
8. Grading, Drainage and Utility plans shall be reviewed and approved by the City Engineer.
9. Water services shall be divided outside the building for potable water supply and fire suppression.

10. The site and building plans shall show the location and screening of ground mounted or rooftop mechanical equipment.

Cc. Kris Luedke
Maeghan Becker
Kevin Benshoof
Heidi Ortiz

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance



LEGAL DESCRIPTION

SECT-02 TWP-120 RANGE-024 SHOPPES AT PRAIRIE RUN 2 LOT-001 BLOCK-001*
*RETRIEVED FROM WRIGHT COUNTY WEBSITE 07/15/2024

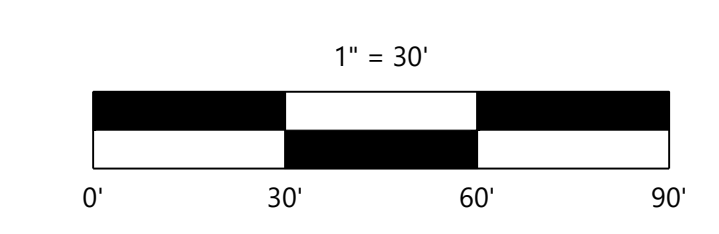
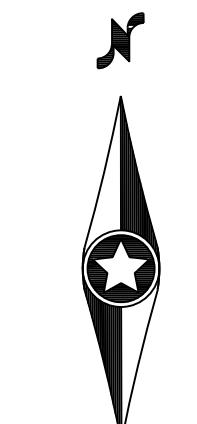


Exhibit A

NOT FOR CONSTRUCTION

DESIGNED:	AKW
CHECKED:	GAS
DRAWN:	AKW
HORIZONTAL SCALE:	30'
VERTICAL SCALE:	6" = 1'

PREPARED FOR:
THIELEN & GREEN
7455 VILLAGE DR. STE. 110
LINO LAKES, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MINNESOTA.
JEFF WILSON SURVEYOR
07/16/2024 LICENSE NO. 44019

SI SENIOR RESTAURANT
ALBERTVILLE, MN

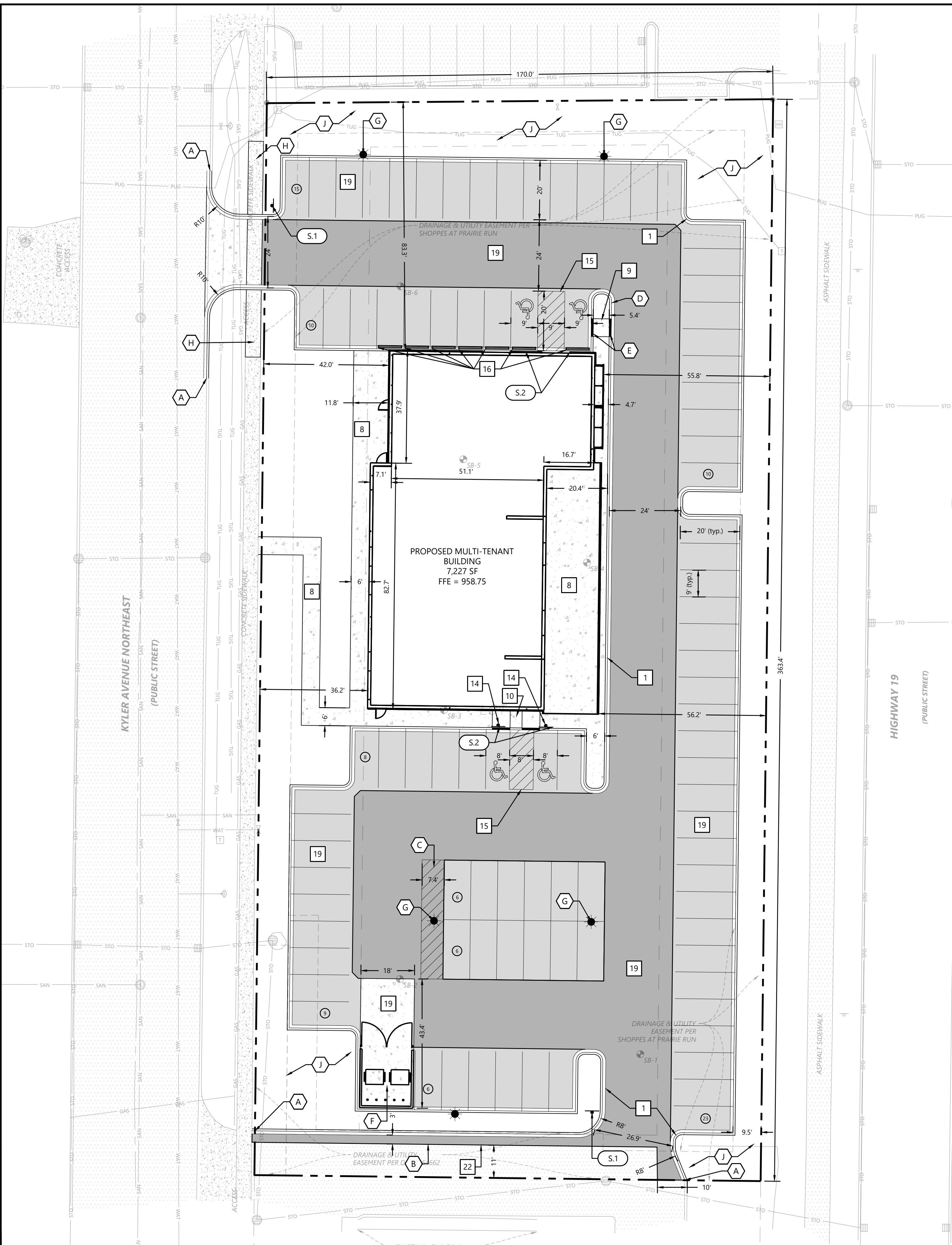
Westwood
Professional Services, Inc.
12751 Winnetka Drive, Suite #300
Minnnetonka, MN 55343
Phone: (888) 837-5150
Fax: (888) 937-5150
Toll Free: (888) 937-5150
westwoodps.com

BOUNDARY AND TOPO SURVEY

SHEET NUMBER:
C002

DATE: 07/16/2024
PROJECT NUMBER: 0051896.00

SI SENIOR RESTAURANT



SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING SPACES
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	BOLLARD / POST
---	---	CONCRETE WHEEL STOP

S.10 SIGN LEGEND

REFERENCE	SIZE	MnDOT DESIGNATION
S.1	30" X 30"	R1-1
S.2	12" X 18"	R7-8M

1 SITE DETAILS (SI-0XX)

- 1 B612 CURB AND GUTTER
- 8 PRIVATE CONCRETE SIDEWALK
- 9 PRIVATE PEDESTRIAN CURB RAMP
- 10 PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- 14 SIGN INSTALLATION
- 15 HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- 16 PRECAST CONCRETE WHEEL STOP
- 19 PAVEMENT SECTIONS
- 22 SAW CUT CONTROL JOINT

A SITE KEYNOTES

- A MATCH EXISTING CURB
- B MATCH EXISTING ASPHALT PAVEMENT WITH SAWCUT
- C PAINT 4" WHITE DIAGONAL STRIPING
- D FLUSH CURB
- E TRANSITION CURB
- F TRASH ENCLOSURE (SEE ARCH. PLANS)
- G LIGHT POLE (SEE PHOTOMETRIC PLANS)
- H RECONSTRUCT SIDEWALK PER CITY STANDARDS
- J SNOW STORAGE AREA

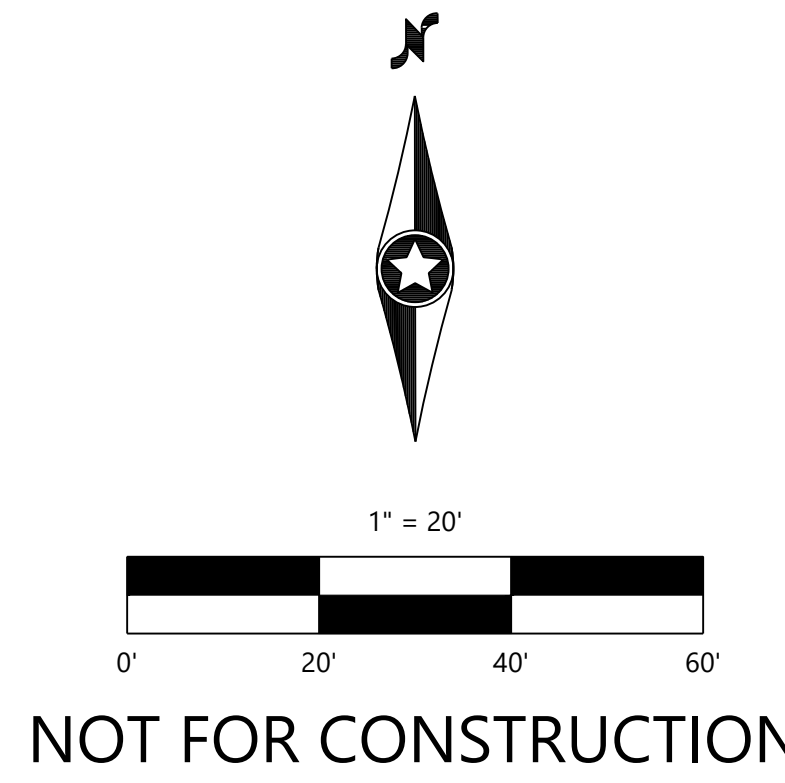
SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	B-2, LIMITED BUSINESS DISTRICT
PROPOSED ZONING:	B-2, LIMITED BUSINESS DISTRICT
PARCEL DESCRIPTION:	LOT 101137001010
PROPERTY AREA:	61,488 SF (1.41 AC)
EXISTING IMPERVIOUS SURFACE:	4,503 SF (7.32%)
PROPOSED IMPERVIOUS SURFACE:	46,078 SF (74.94%)
BUILDING GROSS SIZE:	7,227 SF
RETAIL:	2,395 SF
RESTAURANT:	4,832 SF
FLOOR-AREA-RATIO(FAR):	0.12
BUILDING SETBACK PER CODE:	35'-FRONT 10'-SIDE / 20'-SIDE TO ROW 20'-REAR
PARKING SETBACK:	15'-STREET SURFACE
PARKING SPACE/DRIVE AISLE:	9' WIDE X 20' LONG, 24' AISLE
PARKING RATIO REQUIREMENT:	CITY OF ALBERTVILLE, MN
RETAIL:	1 SPACE / 200 SF OF BLDG
RESTAURANT:	1 SPACE / 40 SF OF DINING AREA 1 SPACE / 80 SF OF KITCHEN AREA
RETAIL(2,395/200):	11.975 SPACES
RESTAURANT DINING INDOOR (1,923/40):	48.075 SPACES
RESTAURANT KITCHEN (1,476/80):	18.45 SPACES
TOTAL SPACES REQUIRED:	79 SPACES (11.975+48.075+18.45=78.5)
PARKING PROVIDED:	93

GENERAL SITE NOTES

1. BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, JUNE 03, 2024.
2. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
4. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
6. ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
7. ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
9. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
10. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
11. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

Exhibit B



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4' @ 2"

PREPARED FOR:
THIELEN & GREEN
7455 VILLAGE DR. STE. 110
LINO LAKES, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
GRETCHEN SCHROEDER
07/16/2024, LICENSE NO. 43019

SI SENIOR RESTAURANT
ALBERTVILLE, MN

Westwood
12701 Winthrop Drive, Suite #030
Minnetonka, MN 55343
westwoodps.com
Phone: (888) 937-5150
Fax: (888) 937-5150
Toll Free: (888) 937-5150
Westwood Professional Services, Inc.

SITE PLAN

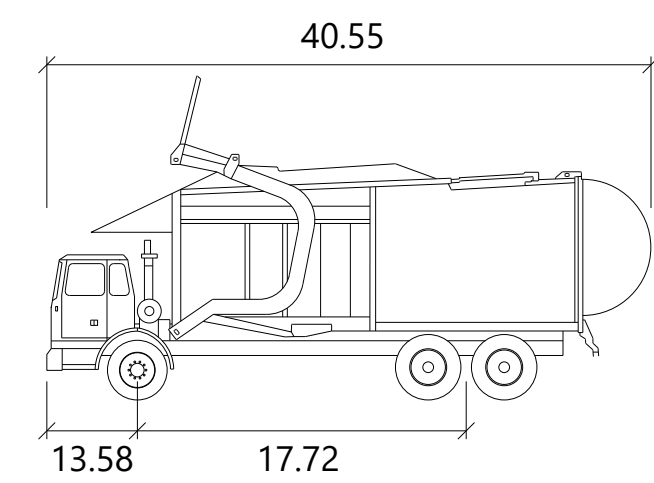
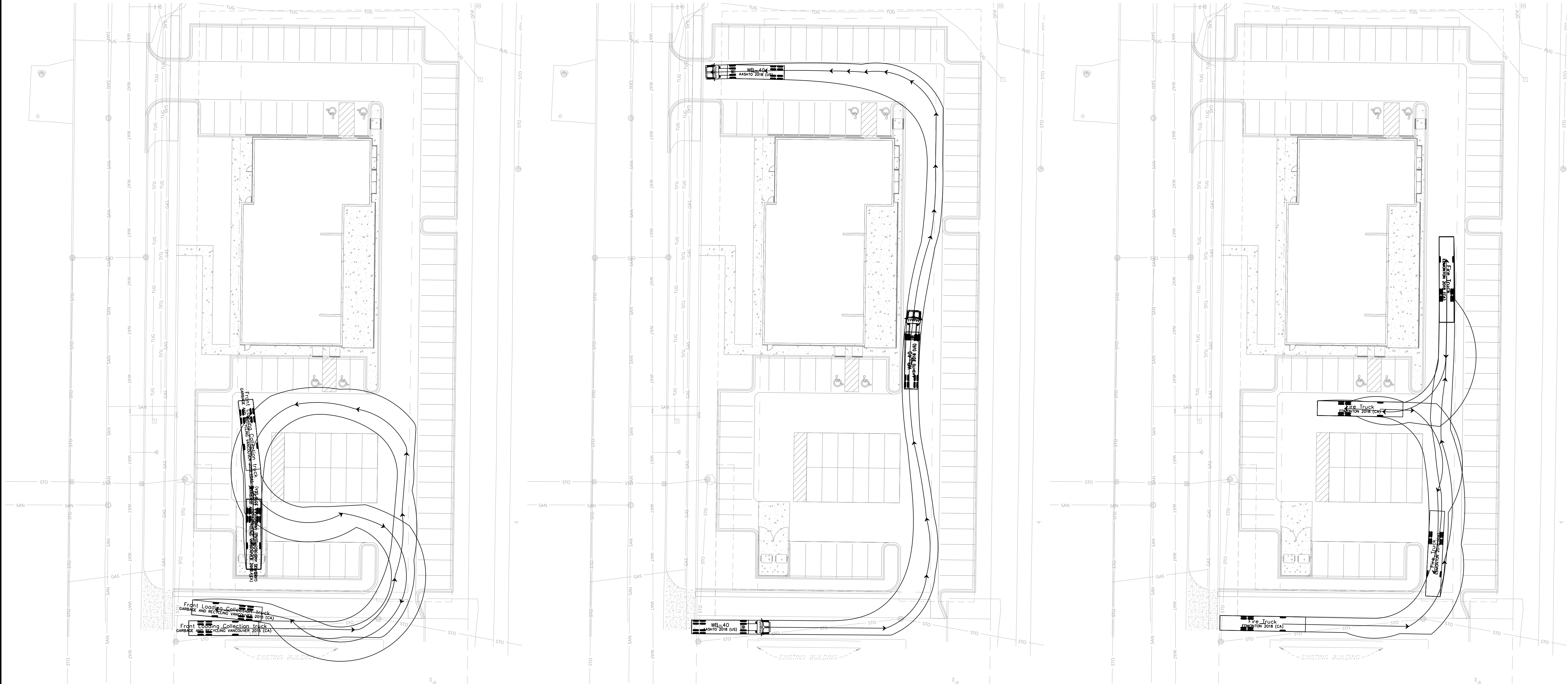
SHEET NUMBER:

C200

DATE: 07/16/2024

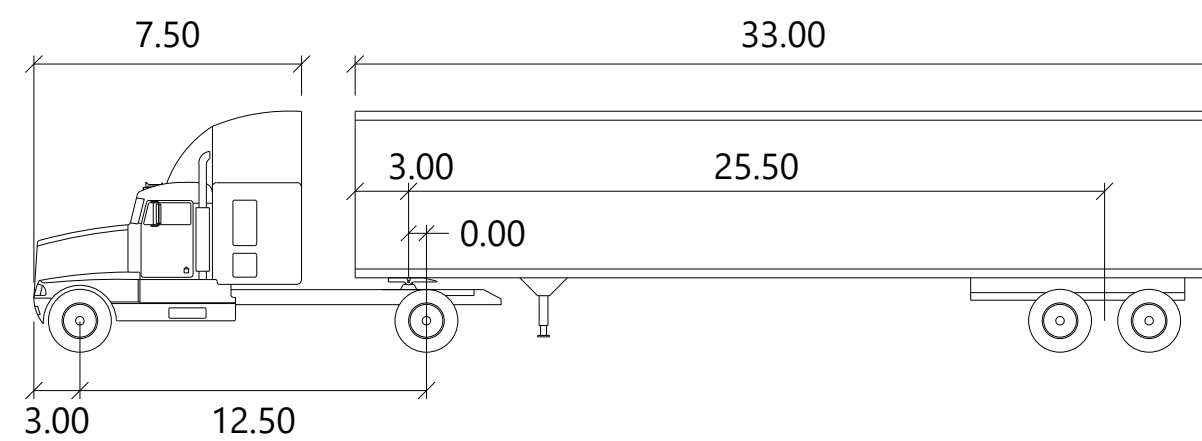
PROJECT NUMBER: 0051896.00

Call 48 Hours before digging:
811 or call811.com
 Common Ground Alliance



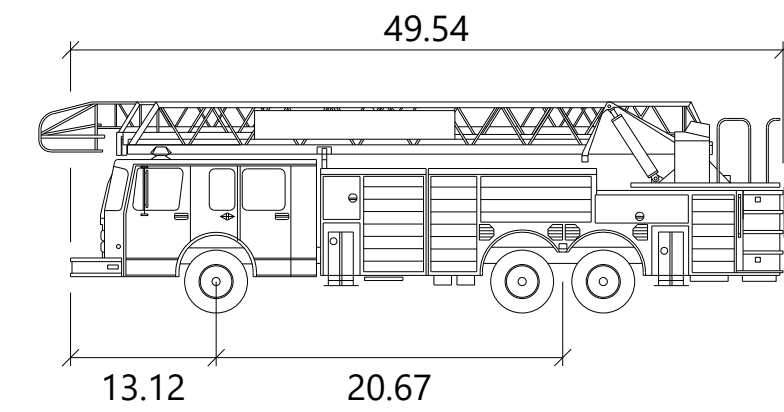
Front Loading Collection truck

feet	
Width	: 8.53
Track	: 8.53
Lock to Lock Time	: 6.0
Steering Angle	: 27.7



WB-40

feet			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

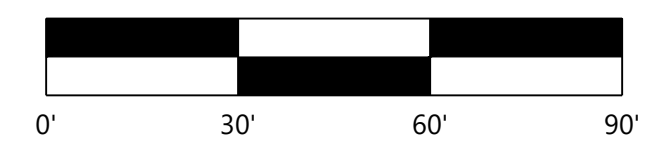


Fire Truck

feet	
Width	: 8.53
Track	: 8.53
Lock to Lock Time	: 6.0
Steering Angle	: 32.6



1" = 30'



NOT FOR CONSTRUCTION

Exhibit C

DESIGNED:	AKW
CHECKED:	GAS
DRAWN:	AKW
HORIZONTAL SCALE: 30'	
VERTICAL SCALE: 6" OF 1"	

PREPARED FOR:
THIELLEN & GREEN
 7455 VILLAGE DR. STE. 110
 LINO LAKES, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
JEFF WOBERSCHLAGER
 ENGINEER LICENSE NO. 44019
 07/16/2024

SI SENIOR RESTAURANT
 ALBERTVILLE, MN

Westwood
 12701 Winnetka Drive, Suite #300
 Minneapolis, MN 55343
 Phone: (888) 937-5150
 Fax: (888) 937-5150
 Toll Free: (888) 937-5150
 westwoodps.com
 Westwood Professional Services, Inc.

TURN MOVEMENTS

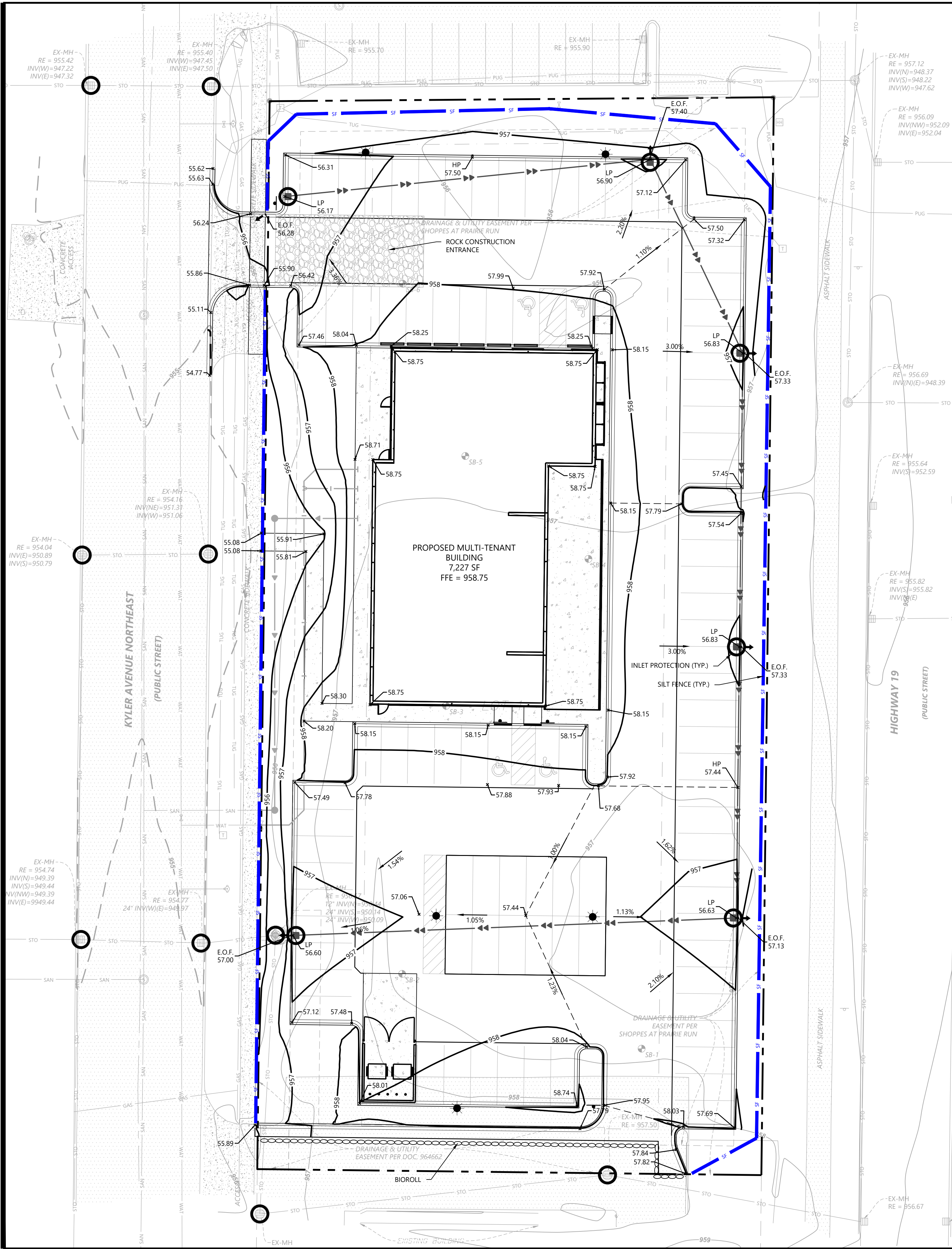
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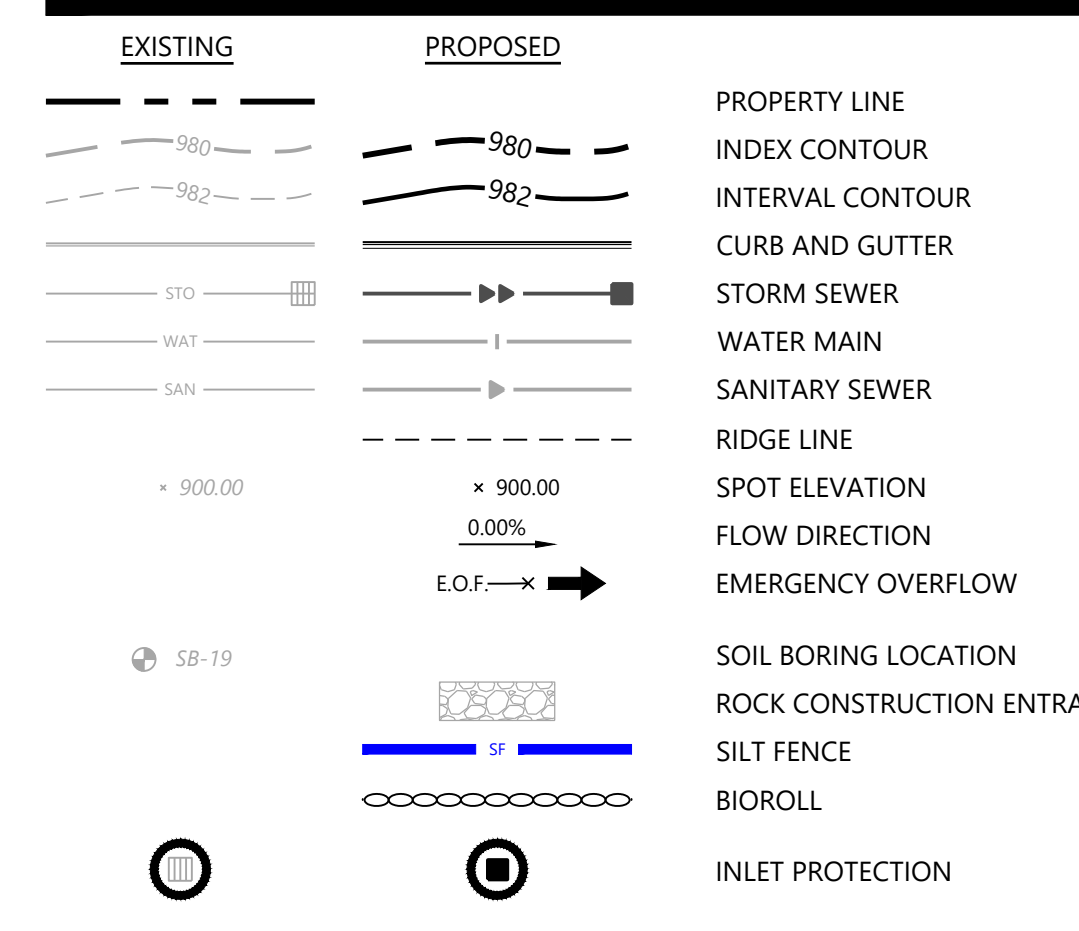
DATE: 07/16/2024

PROJECT NUMBER: 0051896.00

SI SENIOR RESTAURANT



GRADING LEGEND



GRADING NOTES

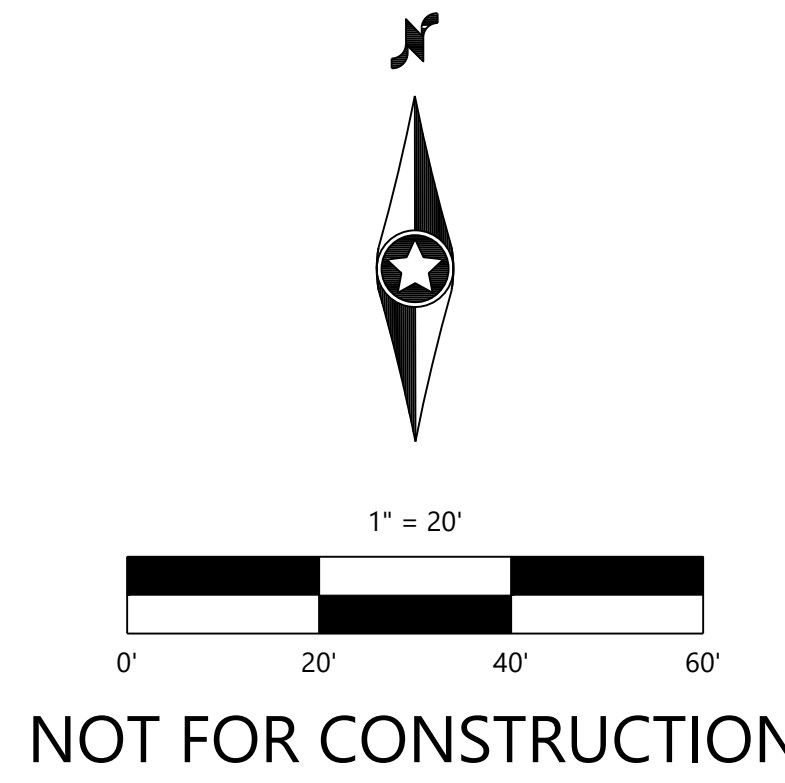
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

GENERAL EROSION CONTROL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
- WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
 - TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE
 - INFILTRATION/FILTRATION BASIN SHALL BE MNDOT SEED MIX 34-262 AT 14.5-POUNDS PER ACRE.
 - POND SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
 - GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.

Call 48 Hours before digging:
 811 or call811.com
 Common Ground Alliance

Exhibit D



DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 HORIZONTAL SCALE: 20'
 VERTICAL SCALE: 4' OF 2'

INITIAL ISSUE: _____
 REVISIONS: _____

07/16/2024

PREPARED FOR:
THIELEN & GREEN
 7455 VILLAGE DR. STE. 110
 LINO LAKE, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 GRETCHEN SCHROEDER
 07/16/2024, LICENSE NO. 43019

SI SENIOR RESTAURANT
 ALBERTVILLE, MN

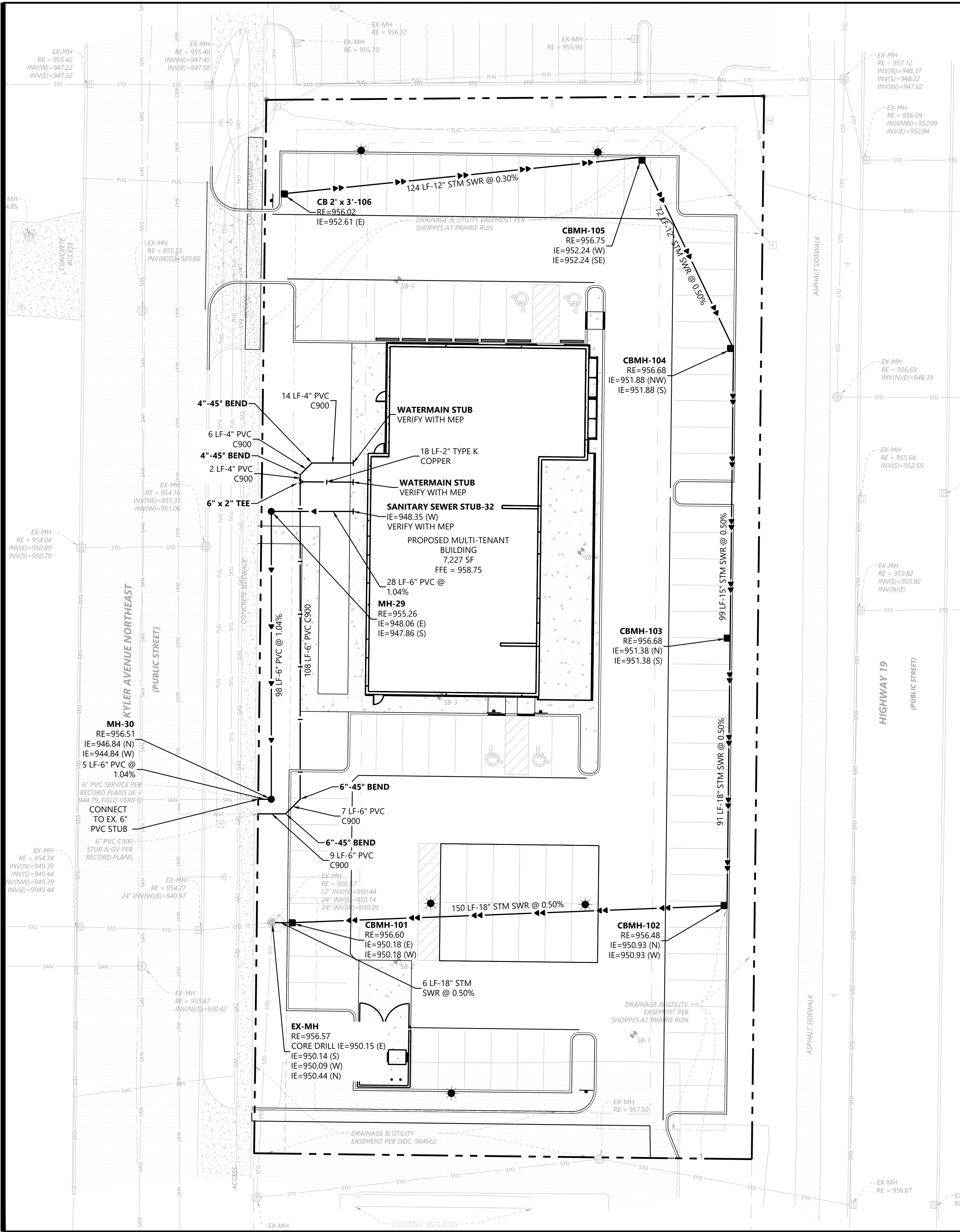
Westwood
 (825) 837-5150 12701 Whitehawk Drive, Suite #800
 Phone (825) 837-5822 Minneapolis, MN 55343
 Fax (888) 937-5150 westwoodps.com
 Toll Free Westwood Professional Services, Inc.

GRADING & EROSION CONTROL PLAN

SHEET NUMBER:
C300

DATE: 07/16/2024
 PROJECT NUMBER: 0051896.00

SI SENIOR RESTAURANT



UTILITY LEGEND

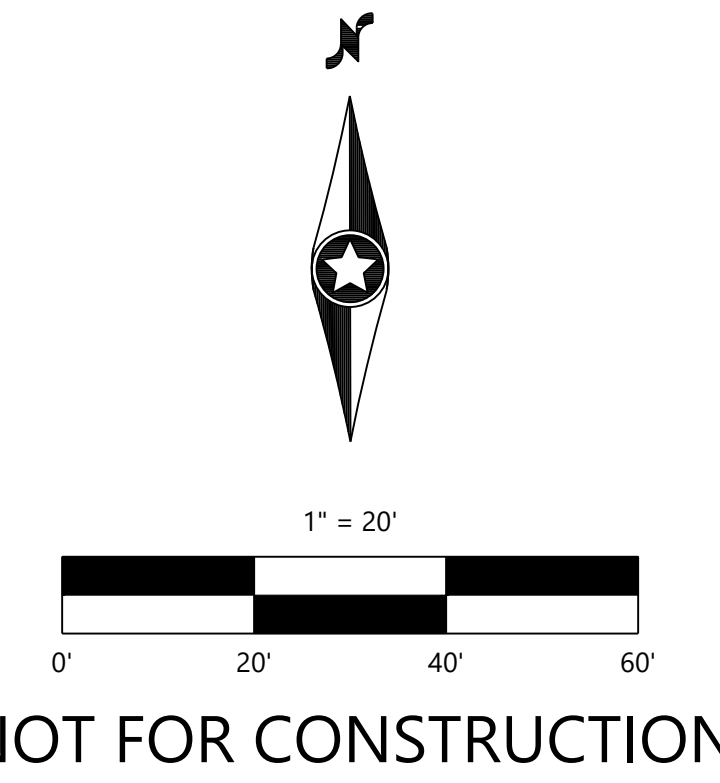
EXISTING	PROPOSED	PROPERTY LINE
---	---	---
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	GATE VALVE
---	---	LIGHT POLE

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE LARGE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE LOCAL JURISDICTION AND MINNESOTA PLUMBING CODE. ALL SMALL / DRY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER AND WATER LINES SHALL CROSS ABOVE ANY SEWER. IF THIS IS NOT ACHIEVABLE, SANITARY AND STORM SEWER SHALL BE CONSTRUCTED OF A MATERIAL APPROVED FOR USE WITHIN A BUILDING AND AS LISTED IN TABLE 701.2 OF THE MINNESOTA PLUMBING CODE. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 8' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE AND NOT WITHIN 10' OF WATER LINE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY AND STORM SEWER PIPE WITHIN 10 FEET OF THE BUILDING AND UNDER FOOTINGS, AND WITHIN 10 FEET OF WATER LINE SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY OR MN DEPARTMENT OF LABOR.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
- HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
- PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
- CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
- ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA PLUMBING CODE 604.10.1.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCVS2 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.

Call 48 Hours before digging:
 811 or call811.com
 Common Ground Alliance

Exhibit E



DESIGNED:	07/16/2024
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4" = 2'

PREPARED FOR:
THIELEN & GREEN
 7455 VILLAGE DR. STE. 110
 LINO LAKES, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 GRETCHEN SCHROEDER
 07/16/2024, LICENSE NO. 43019

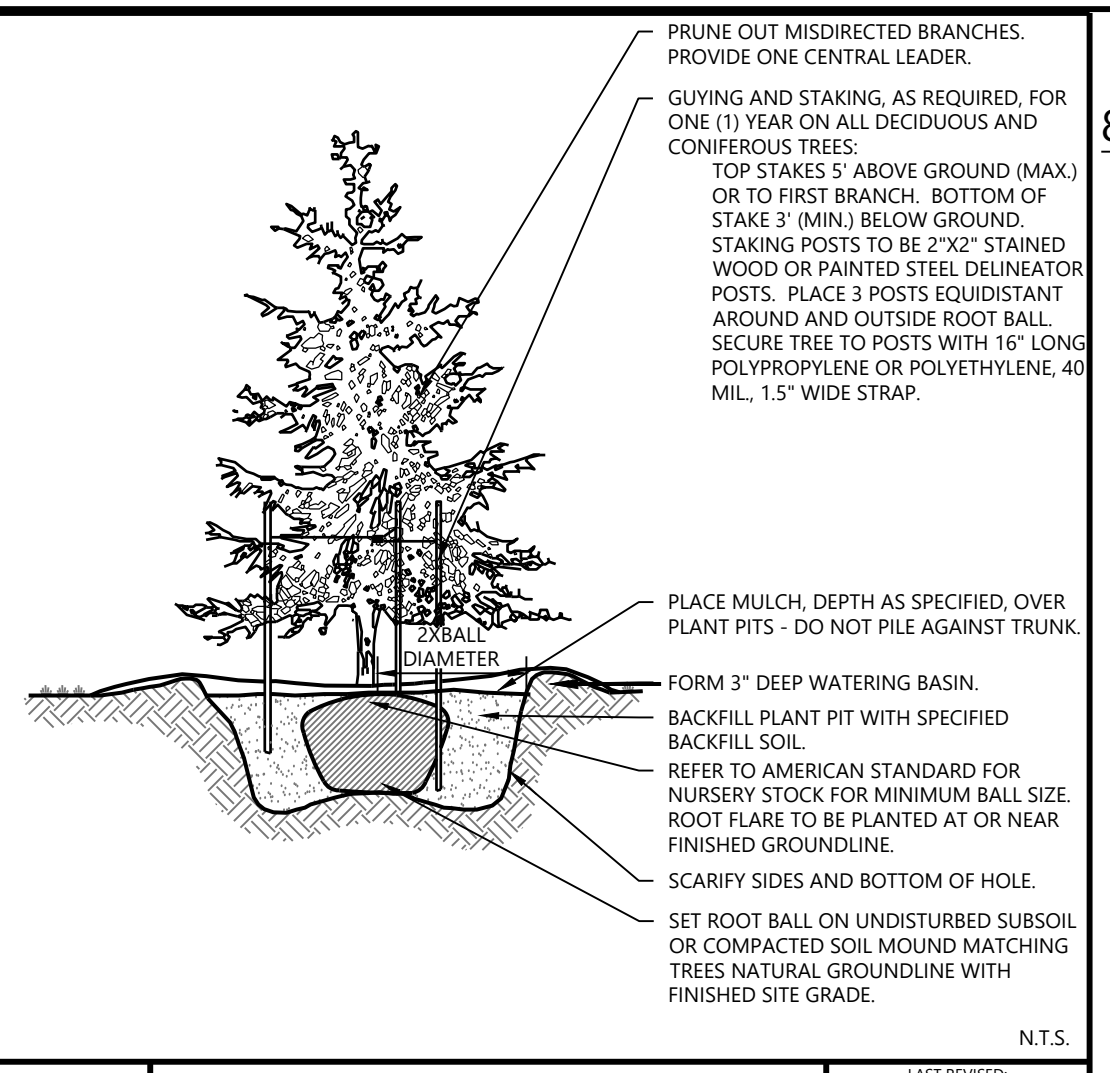
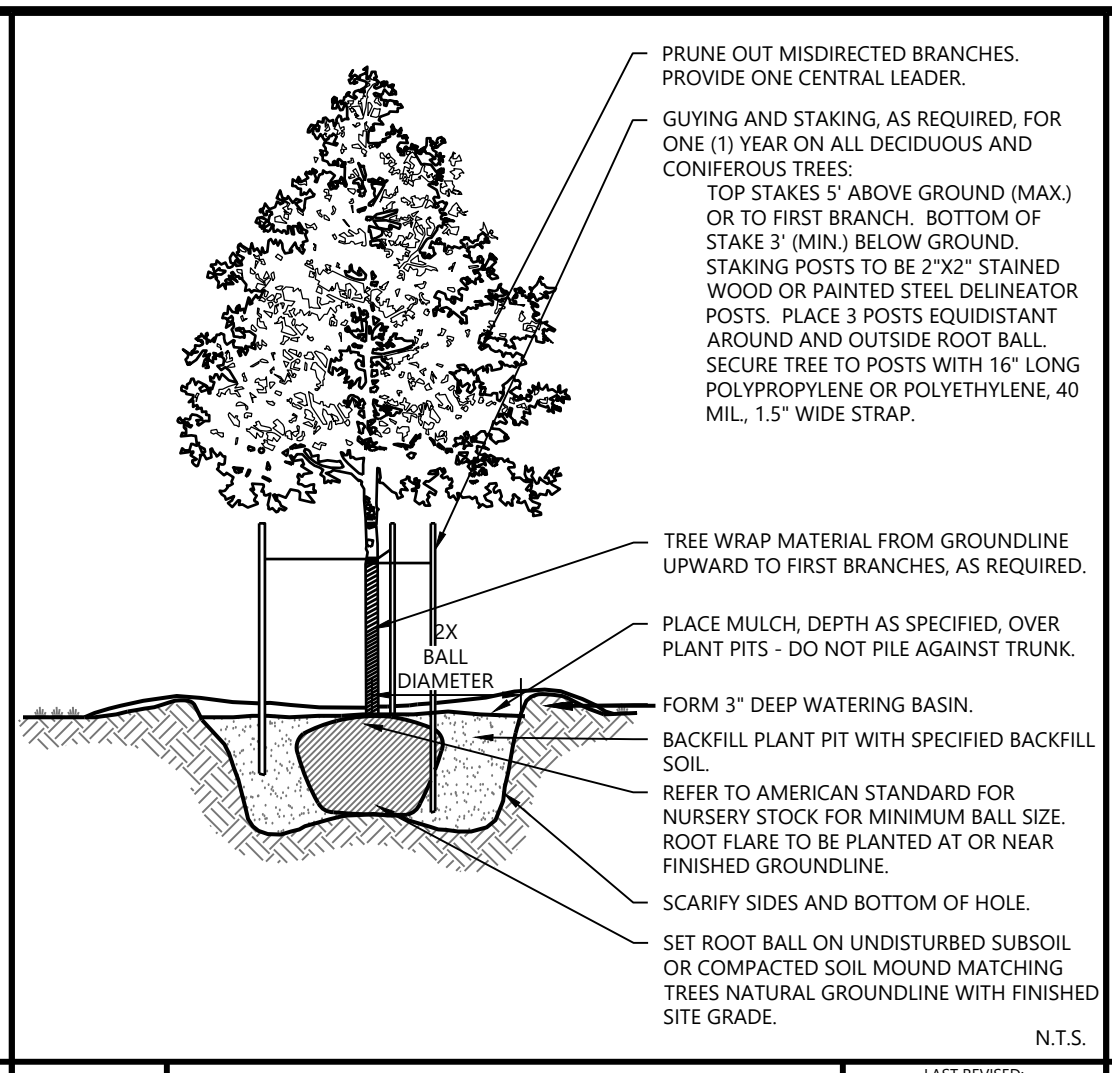
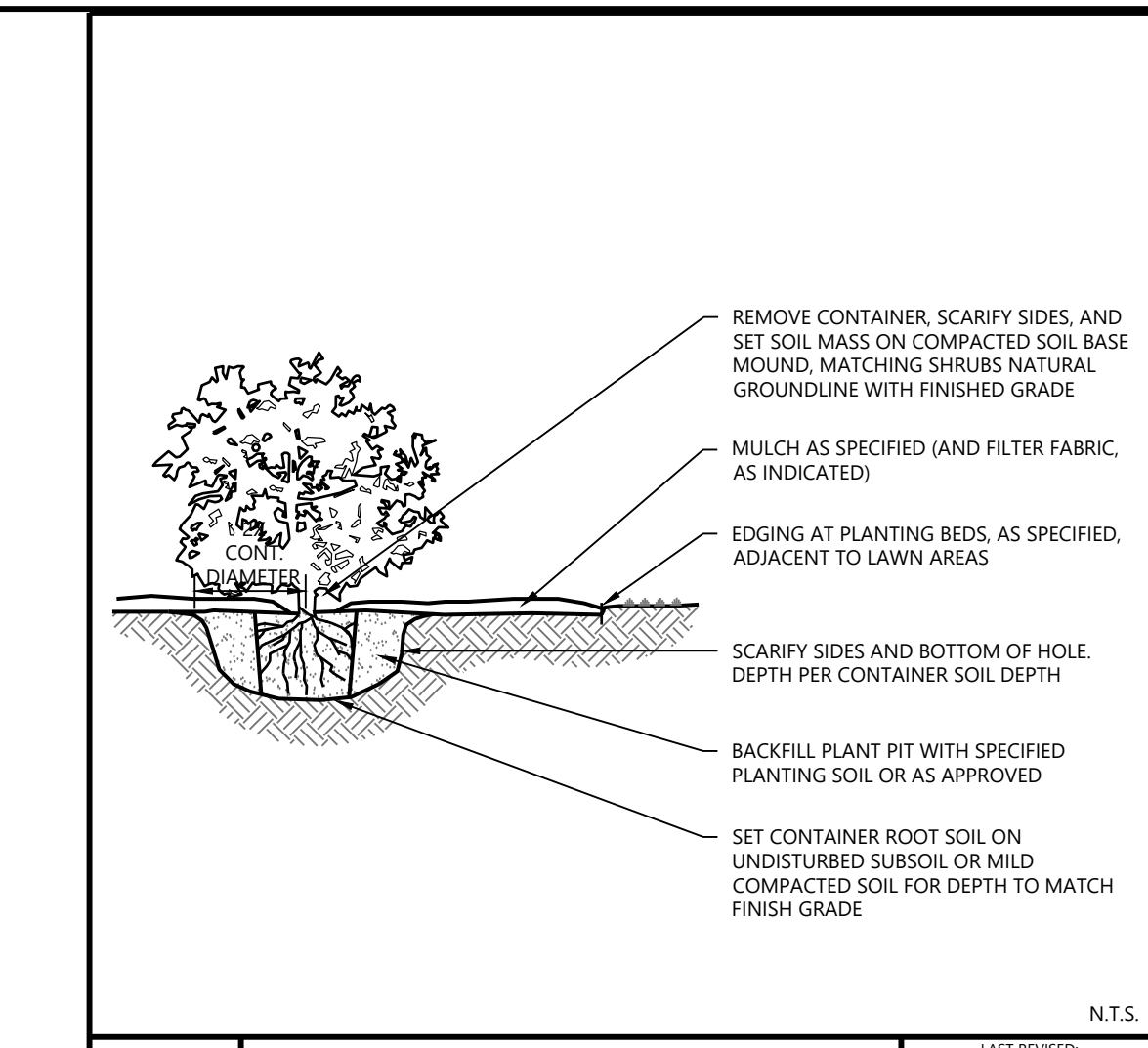
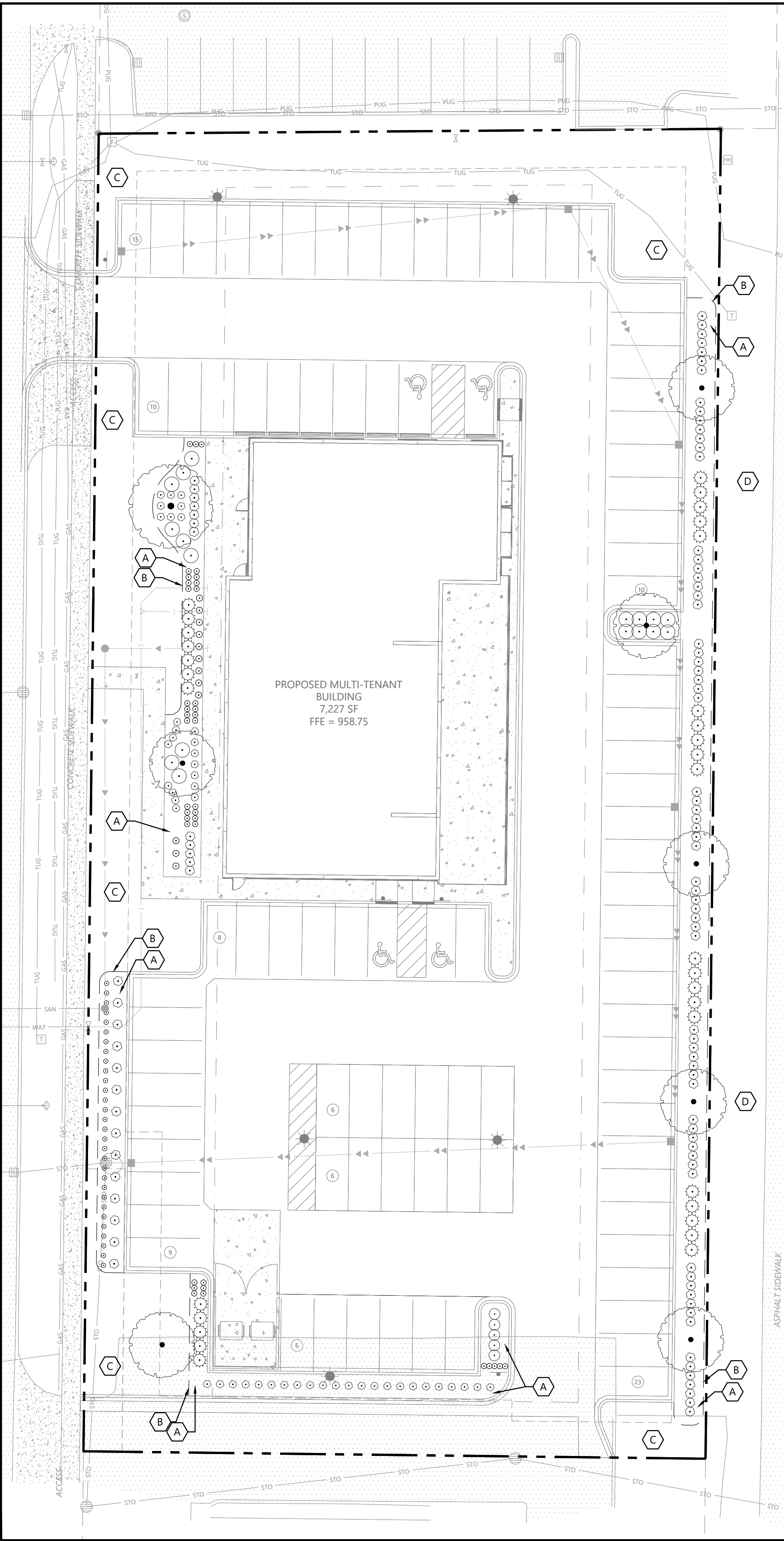
SI SENIOR RESTAURANT
 ALBERTVILLE, MN

Westwood
 (820) 897-6160 12701 Whitehawk Drive, Suite #800
 (820) 897-6822 Minneapolis, MN 55434
 (888) 937-5150 westwoodps.com
 Westwood Professional Services, Inc.

UTILITY PLAN

SHEET NUMBER:
C400

DATE: 07/16/2024
 PROJECT NUMBER: 0051896.00



Westwood	SHRUB & PERENNIAL CONTAINER PLANTING	LAST REVISED: 10/23/18	Westwood	DECIDUOUS TREE PLANTING	LAST REVISED: 10/19/18	Westwood	EVERGREEN TREE PLANTING	LAST REVISED: 10/19/18
	LA27-C			LA28			LA29	

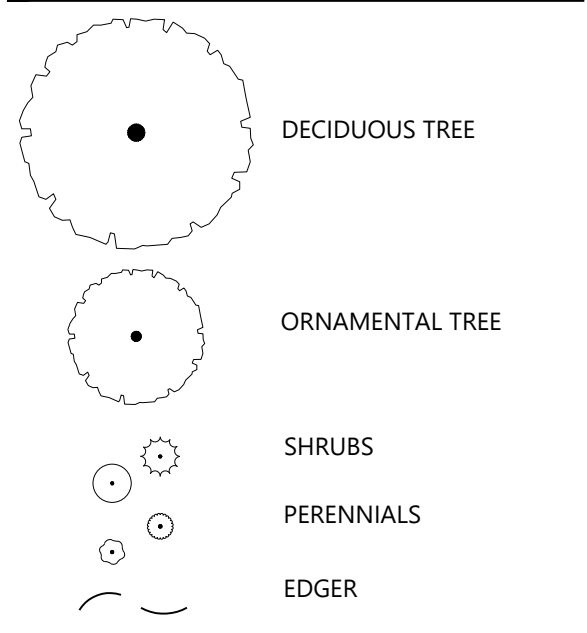
LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)
- D GENERAL TURF SEED MIX

COVERAGE AREA SUMMARY

IMPERVIOUS SURFACE (75%):	46,078 SF (1.06 AC)
LANDSCAPED GREEN SPACE (25%):	15,410 SF (.35 AC)

LANDSCAPE LEGEND



LANDSCAPE SUMMARY

REQUIRED PLANTINGS:

IN ADDITION TO REQUIRED GROUND COVER AND EXCLUSIVE OF BUFFERING OR SCREENING, ALL NEW RESIDENTIAL SUBDIVISIONS, SEMI-PUBLIC AND ALL INCOME PRODUCING PROPERTY USES SHALL BE LANDSCAPED USING ORNAMENTAL GRASS, SHRUBS, TREES, WITHIN ONE YEAR FOLLOWING THE DATE OF BUILDING OCCUPANCY.

- A MINIMUM OF ONE SHADE TREE OR EVERGREEN TREE SHALL BE PROVIDED PER NON-RESIDENTIAL LOT.
- A MINIMUM OF SIXTEEN (16) ORNAMENTAL TREES OR SHRUBS SHALL BE PROVIDED PER STREET SIDE OF NON-RESIDENTIAL LOTS.

INTERIOR PARKING LOT LANDSCAPING:

- ALL PARKING LOTS SHALL BE DESIGNED TO INCORPORATE UNPAVED LANDSCAPE ISLANDS AS REQUIRED BY CITY.
- ALL LANDSCAPE ISLANDS SHALL BE PROVIDED WITH DECIDUOUS SHADE TREES, ORNAMENTAL OR EVERGREEN TREES, PLUS GROUND COVER, MULCH OR SHRUBBERY.
- WITHIN OFF STREET PARKING FACILITIES FOR COMMERCIAL USES OF FIFTY (50) OR MORE STALLS, IRRIGATED LANDSCAPE ISLANDS SHALL BE PROVIDED AT A RATE OF ONE HUNDRED EIGHTY (180) SQUARE FEET PER TWENTY FIVE (25) SURFACE STALLS OR FRACTION THEREOF.

++ CITY REQUIREMENTS MET ++

PLANT SCHEDULE

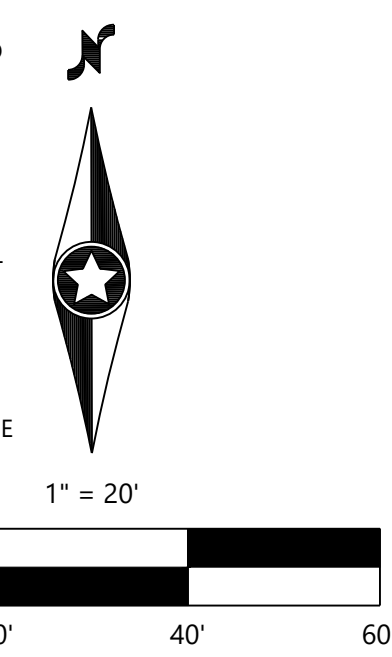
CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.	MATURE SIZE
DECIDUOUS TREES 1					
AGG		AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2" CAL.	AS SHOWN	H 40-50' W 25-35'
ORNAMENTAL TREES 7					
TCH		THORNLESS COCKSPUR HAWTHORN / CRATAEGUS CRUS-GALLI INERMIS	1.5" CAL.	AS SHOWN	H 15-20' W 15-20'
SSC		'SPRING SNOW CRABAPPLE' / MALUS X 'SPRING SNOW'	1.5" CAL.	AS SHOWN	H 20-25' W 15-20'
CONIFEROUS SHRUBS 32					
PDN		PUMILA DWARF NORWAY SPRUCE / PICEA ABIES 'PUMILA'	#5 CONT.	4'-0" O.C.	H 3'-5' W 3'-5'
LMP		LAKEVIEW MUGO PINE / PINUS MUGO 'LAKEVIEW'	#5 CONT.	4'-0" O.C.	H 4'-6" W 3'-5'
TAY		TAUNTON'S YEW / TAXUS X MEDIA 'TAUNTONII'	#5 CONT.	4'-0" O.C.	H 3'-5' W 3'-5'
DECIDUOUS SHRUB 22					
AFD		ARCTIC FIRE® RED TWIG DOGWOOD / CORNUS SERICEA 'FARROW'	#5 CONT.	4'-0" O.C.	H 3'-5' W 3'-5'
DBH		BUSH HONEYSUCKLE / DIERVILLA LONICERA	#5 CONT.	3'-0" O.C.	H 2'-3" W 2'-3"
GLS		GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	#5 CONT.	5'-0" O.C.	H 2'-3" W 4'-6"
PERENNIALS 80					
HRD		HAPPY RETURNS DAYLILY / HEMEROCALLIS X 'HAPPY RETURNS'	#1 CONT.	18" O.C.	H 15-18" W 16-20"
ACB		NORTHERN EXPOSURE™ AMBER CORAL BELLS / HEUCHERA X 'TNHEUNEA'	#1 CONT.	18" O.C.	H 12-18" W 18-24"
LSR		LITTLE SPIRE RUSSIAN SAGE / PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	#1 CONT.	18" O.C.	H 2'-3" W 14-18"
GRASSES 142					
KFG		KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	30" O.C.	H 4'-5" W 2'-3"
SOB		STANDING OVATION LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	#1 CONT.	24" O.C.	H 3'-4" W 18-24"

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER QTY. = QUANTITY CONT. = CONTAINER
NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

PLANTING NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNL & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 6" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL COLORED, OR APPROVED EQUAL. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4' OF 2'

PREPARED FOR:
THIELEN & GREEN
7455 VILLAGE DR. STE. 110
LINO LAKE, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR BY A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA
JEFF WESTENDORF
07/16/2024, LICENSE NO. 44018

SI SENIOR RESTAURANT
ALBERTVILLE, MN

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Toll Free: (888) 937-5150
www.westwoodps.com
Westwood Professional Services, Inc.

LANDSCAPE PLAN

SHEET NUMBER:
L100

Exhibit F

NOT FOR CONSTRUCTION DATE: 07/16/2024

PROJECT NUMBER: 0051896.00

ZONING INFORMATION (B-2)

ZONED: B-2, LIMITED BUSINESS DISTRICT + COMMERCIAL PUD OVERLAY

CONDITIONAL USE: RESTAURANTS WITHOUT DRIVE-THRU SERVICES

BUILDING STANDARDS
- MAX HEIGHT 35'-0"

PARKING REQUIREMENTS
SIZE - 9'X20' SPACE DIMENSIONS, MIN - 24' 2-WAY DRIVE AISLES

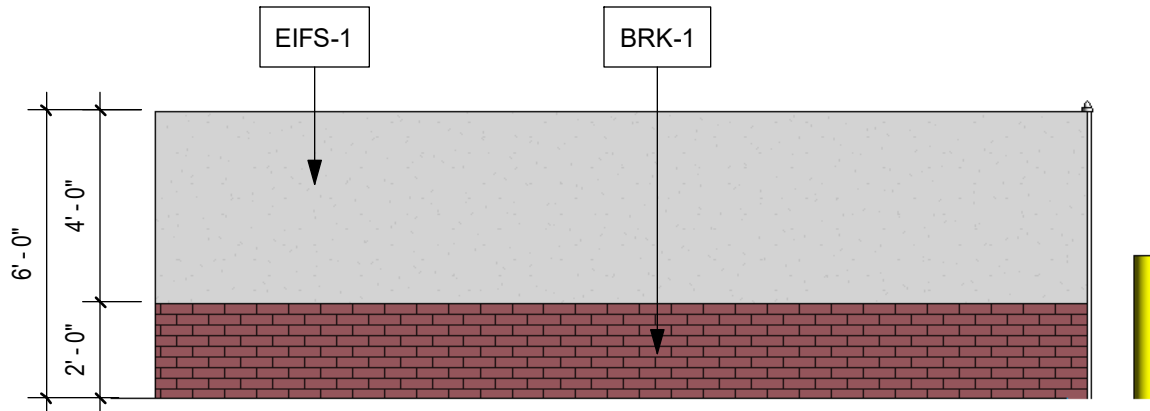
RESTAURANT - AT LEAST 1 SPACE FOR EACH 40 SQUARE FEET OF GROSS FLOOR AREA OF DINING AND BAR AREA AND 1 SPACE FOR EACH 80 SQUARE FEET OF KITCHEN AREA

2928 / 40 = 73.2 STALLS (DINING)
1518 / 80 = 18.97 STALLS

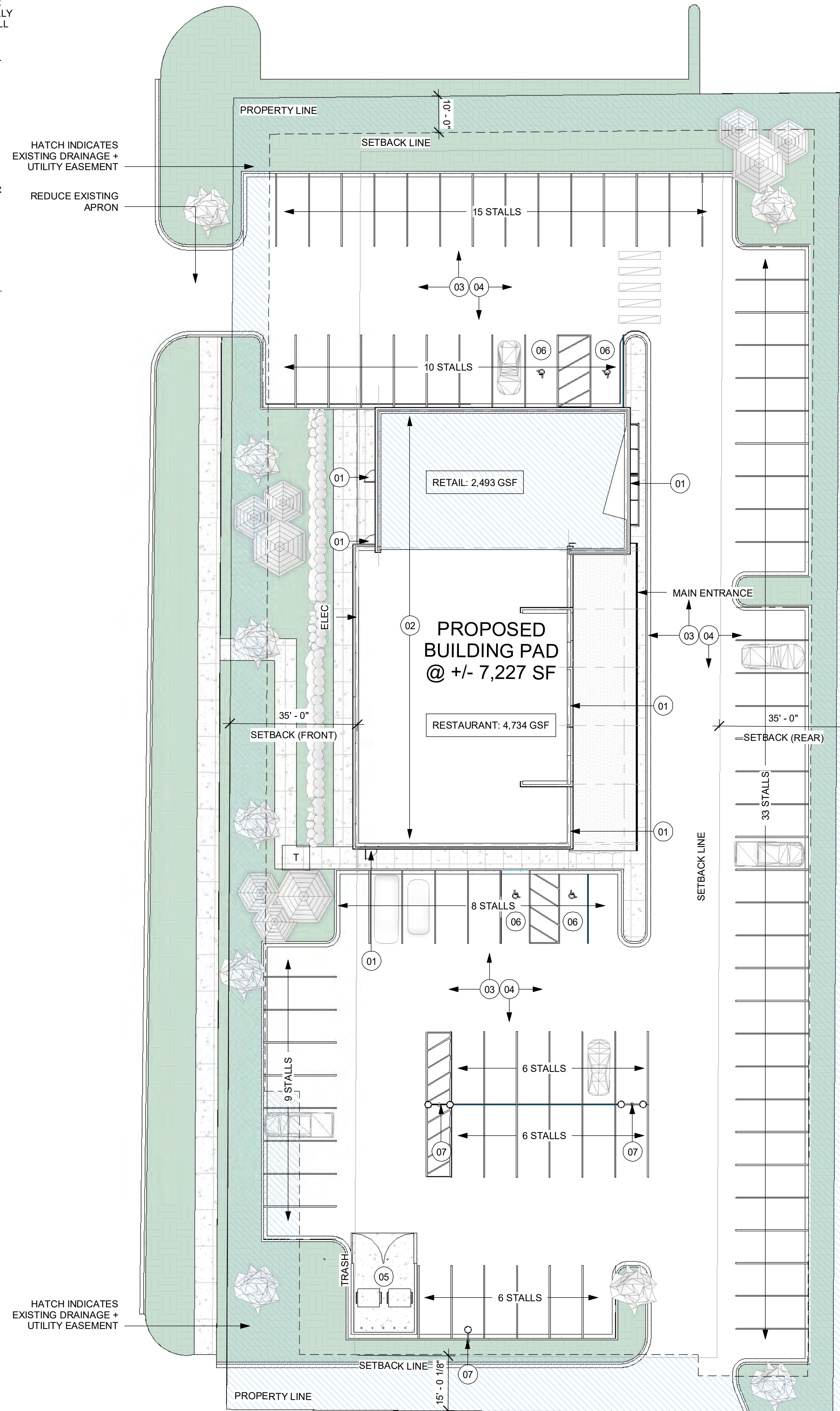
TOTAL = 92.175 STALLS (INCLUDING 4 ADA STALLS); 96 PROVIDED

RETAIL - AT LEAST 8 SPACES OR 1 SPACE FOR EACH 200 SQUARE FEET DEVOTED TO PUBLIC SALES OR SERVICE, PLUS 1 SPACE FOR EACH 500 SQUARE FEET OF STORAGE AREA, OR AT LEAST 8 SPACES OR 1 SPACE FOR EACH EMPLOYEE ON THE MAXIMUM SHIFT, WHICHEVER IS APPROPRIATE

- 1100.4: BUILDING TYPE AND CONSTRUCTION:
- A. EXTERIOR MATERIALS: NO GALVANIZED OR UNFINISHED STEEL, GALVALUM OR UNFINISHED ALUMINUM BUILDINGS (WALLS OR ROOFS), EXCEPT THOSE SPECIFICALLY INTENDED TO HAVE A CORROSIVE DESIGNED FINISH SUCH AS CORTEN STEEL, SHALL BE PERMITTED IN ANY ZONING DISTRICT, EXCEPT IN ASSOCIATION WITH FARMING OPERATIONS OR AS ALLOWED BY SECTION 1000.4 OF THIS ORDINANCE.
 - B. ARCHITECTURE AND AESTHETICS: BUILDINGS IN ALL ZONING DISTRICTS SHALL MAINTAIN A HIGH STANDARD OF ARCHITECTURAL AND AESTHETIC COMPATIBILITY WITH SURROUNDING PROPERTIES TO ENSURE THAT THEY WILL NOT ADVERSELY IMPACT THE PROPERTY VALUES OF THE ADJUTING PROPERTIES OR ADVERSELY IMPACT THE PUBLIC HEALTH, SAFETY, AND GENERAL WELFARE.
 - C. EXTERIOR FINISHES: EXTERIOR BUILDING FINISHES SHALL CONSIST OF MATERIALS COMPARABLE IN GRADE AND QUALITY TO THE FOLLOWING:
 1. BRICK.
 2. NATURAL STONE.
 3. DECORATIVE CONCRETE BLOCK.
 4. CAST IN PLACE CONCRETE OR PRECAST CONCRETE PANELS.
 5. WOOD, PROVIDED THE SURFACES ARE FINISHED FOR EXTERIOR USE AND WOOD OF PROVEN EXTERIOR DURABILITY IS USED, SUCH AS CEDAR, REDWOOD OR CYPRESS.
 6. CURTAIN WALL PANELS OF STEEL, FIBERGLASS AND ALUMINUM (NONSTRUCTURAL, NONLOAD BEARING), PROVIDED SUCH PANELS ARE FACTORY FABRICATED AND FINISHED WITH A DURABLE NONFADE SURFACE, AND THEIR FASTENERS ARE OF A CORROSION RESISTANT DESIGN.
 7. GLASS CURTAIN WALL PANELS.
 8. STUCCO.
 9. VINYL.
 10. OTHER MATERIALS DETERMINED TO BE ACCEPTABLE BY THE CITY COUNCIL.



② TYP TRASH ENCLOSURE WALL
1/4" = 1'-0"



① ARCHITECTURAL SITE PLAN
1" = 20'-0"

GENERAL SITE PLAN NOTES

1. ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY - CIVIL ENGINEERING IS A DEFERRED SUBMITTAL PROVIDED BY THE OWNER AS NEEDED; NOT IN CONTRACT
2. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW - TYPICAL
3. ALL SIGNAGE SHOWN FOR REFERENCE ONLY - PROVIDED BY OTHERS UNDER A DEFERRED SUBMITTAL
4. ALL EXTERIOR LIGHTING SHOWN FOR REFERENCE ONLY - REFER TO DESIGN-BUILD ELECTRICAL DRAWINGS FOR ADD. INFO. - REFER TO EXTERIOR ELEVATIONS FOR BUILDING MOUNTED FIXTURES - COORDINATE FINAL LOCATIONS WITH OWNER IN FIELD PRIOR TO INSTALLATION
5. GC TO VERIFY THAT ALL ENTRANCE LANDINGS ARE FLUSH WITH FINISHED FLOOR AND PATCH/REPAIR AS REQUIRED
6. GC TO VERIFY THAT ALL PAVED SURFACES ADJACENT TO THE BUILDING SLOPE AWAY TO PROVIDE POSITIVE DRAINAGE

SITE PLAN KEYNOTES

01. BUILDING ENTRY/ EXIT STOOP LOCATION - REFER TO STRUCT. TYPICAL STOOP DETAIL FOR ADD. INFO. - SLOPE AWAY FROM BLDG AT MAX 2% - MAINTAIN ADA REQ. PER 2020 MAC
02. BUILDING FOOTPRINT - REFER TO PLAN SET FOR ADD INFO
03. REFER TO CIVIL DWGS FOR EXTENTS OF LANDSCAPING - SHOWN FOR REFERENCE ONLY
04. SEE CIVIL DWGS FOR MODIFICATION OF EXISTING SITE
05. TRASH ENCLOSURE - SEE 051 FOR ADD INFO
06. ACCESSIBLE STALL - SEE CIVIL DWGS FOR ADD INFO
07. LIGHT POLE LOCATIONS - REFER TO ELEC DWGS - GC TO PROVIDE POWER AS REQ. - SHOWN AS REFERENCE

CITY STAMP AREA
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ALBERTVILLE, MN 55301
218-204-0528
ORTIZRESTAURANTS@HOTMAIL.COM

SI SENOR MEXICAN RESTAURANT
5292 KYLER AVE NE
ALBERTVILLE, MN 55301

ISSUE	DATE
CONCEPTUAL DESIGN	01/09/2024
SCHEMATIC DESIGN	07/02/2024
PLANNING & ZONING SUBMITTAL	07/16/2024
PERMIT & BID SET	TBD
FOR CONSTRUCTION	TBD

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

ARCHITECTURAL SITE PLAN	
Project Number	286_2024
Date	06/26/2024
Drawn By	KPG
Checked By	KMT

A050
Scale **As indicated**

LIFE SAFETY PLAN NOTES

- REFER TO DOOR SCHEDULE FOR ADDITIONAL ACCESSIBILITY AND/OR EGRESS REQUIREMENTS
- CONTINUATION OF ACCESSIBLE AND EGRESS ROUTE OF TRAVEL BEYOND THE AREA OF WORK BY OTHERS
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS (AS APPLICABLE) SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL(S) ALL EXIT DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
-

CODE INFORMATION

APPLICABLE CODES

BUILDING CODE: 2020 MINNESOTA STATE BUILDING CODE
 ENERGY CODE: 2024 MINNESOTA ENERGY CODE
 ACCESSIBILITY: 2020 MINNESOTA ACCESSIBILITY CODE
 MECHANICAL: 2020 MECHANICAL AND FUEL GAS CODE
 PLUMBING: 2020 MINNESOTA PLUMBING CODE
 FIRE: 2020 MINNESOTA FIRE CODE
 ELECTRICAL: MINNESOTA ELECTRICAL CODE

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

PROPOSED OCCUPANCY: "A-2" (RESTAURANT), "B" (OFFICE)/"M" (RETAIL)

CHAPTER 5: BUILDING HEIGHTS AND AREAS

PROJECT AREA: 7,227 USF
 "A-2" = 4,734 USF
 "B" = 2,493 USF
 CONSTRUCTION TYPE: V-B
 BUILDING SPRINKLED: YES
 504.3 ALLOWABLE BUILDING HEIGHT: 60'-0"
 504.4 ALLOWABLE STORIES: 2 STORIES
 506.2 ALLOWABLE AREA: 24,000 SF ALLOWABLE

CHAPTER 6: TYPES OF CONSTRUCTION

EXISTING BUILDING CONSTRUCTION TYPE: V-B
 PRIMARY STRUCTURAL FRAME: 0
 EXTERIOR BEARING WALLS: 0
 INTERIOR BEARING WALLS: 0
 NONBEARING EXTERIOR WALLS AND PARTITIONS: 0 (10 < X < 30)
 NONBEARING INTERIOR WALLS AND PARTITIONS: 0
 FLOOR CONSTRUCTION: 0
 ROOF CONSTRUCTION: 0

CHAPTER 8: INTERIOR FINISHES

OCCUPANCY GROUP: "A-2" (RESTAURANT)
 SPRINKLED: YES

803.13 INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS: B
 CORRIDORS AND EXIT ENCLOSURE FOR EXIT ACCESS STAIRWAYS: B
 ROOMS AND ENCLOSED SPACES: C

CHAPTER 10: MEANS OF EGRESS

1004	FUNCTION OF SPACE: "A-2" (RESTAURANT), INDOOR	ROOM#	ROOM NAME	LOAD FACTOR (PER 1004.5)	OCCUPANT LOAD
		100	VESTIBULE	ACCESSORY	000.00
		101	HOST	150 / 0142	000.95
		102	DINING	015 / 1372	091.46
		103	BAR	015 / 0545	036.33
		104	SERVICE	200 / 0170	000.85
		105	CORRIDOR	ACCESSORY	000.00
		106	MEN'S	ACCESSORY	000.00
		107	WOMEN'S	ACCESSORY	000.00
		108	KITCHEN	200 / 1348	006.74
		109	BEER COOLER	300 / 0136	000.45
		110	RISER ROOM	200 / 0113	000.56
		111	WALK-IN	300 / 0169	000.56
			TOTAL INDOOR OCCUPANT LOAD:		137.91

1004	FUNCTION OF SPACE: "A-2" (RESTAURANT), OUTDOOR	ROOM#	ROOM NAME	LOAD FACTOR (PER 1004.5)	OCCUPANT LOAD
		121	COVERED PATIO	015 / 0456	030.40
		122	COVERED PATIO	015 / 0453	030.20
		123	OUTDOOR PATIO	015 / 1156	077.06
			TOTAL OUTDOOR OCCUPANT LOAD:		137.66
			TOTAL OCCUPANT LOAD:		275.57

1006.2	NUMBER OF EXITS:	2 REQUIRED; 5 PROVIDED
1006.2.1	COMMON PATH OF EGRESS TRAVEL:	<75'-0" REQUIRED; 63'-9" PROV
1017.2	EXIT ACCESS TRAVEL DISTANCE:	<300'-0" REQUIRED; 93'-9" PROV
1020.1	CORRIDORS CONSTRUCTION:	0-HOUR RATED WITH SPRINKLER SYSTEM

1004	FUNCTION OF SPACE: "B" (BUSINESS), INDOOR	ROOM#	ROOM NAME	LOAD FACTOR (PER 1004.5)	OCCUPANT LOAD
		113	BUSINESS	150 / 2395	015.97
			TOTAL OCCUPANT LOAD:		015.97

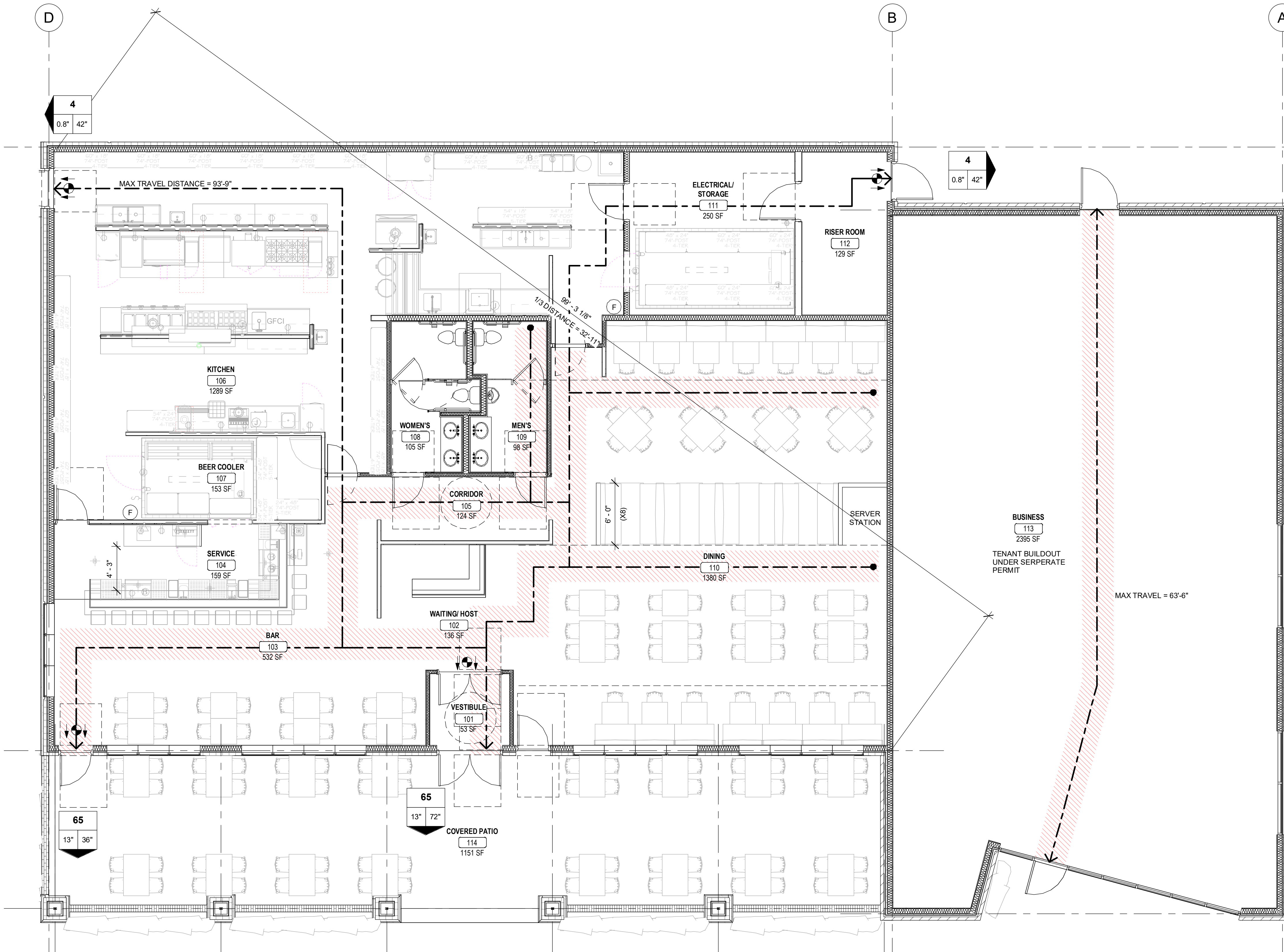
1006.2	NUMBER OF EXITS:	2 REQUIRED; 2 PROVIDED
1006.2.1	COMMON PATH OF EGRESS TRAVEL:	<75'-0" REQUIRED; 63'-9" PROV
1017.2	EXIT ACCESS TRAVEL DISTANCE:	<250'-0" REQUIRED; 63'-6" PROV
1020.1	CORRIDORS CONSTRUCTION:	0-HOUR RATED WITH SPRINKLER SYSTEM

CHAPTER 29: PLUMBING SYSTEMS

2902.01 MINIMUM NUMBER OF FIXTURES
 GROUP "A-2" (RESTAURANT):
 REQUIRED: 3.68 WC, 1.38 LAV
 • WC: 1 PER 75 PER SEX
 • LAV: 1 PER 200 PER SEX
 • SERVICE SINK: 1
 • 275.57 / 2 = 137.79 MALE/FEMALE
 • 137.79 / 75 = 1.84 WC EACH
 • 137.79 / 200 = 0.68 LAV EACH
 PROVIDED: 4.00 WC, 4.00 LAV

CODE PLAN LEGEND

	EGRESS ROUTE
	EXISTING AREA WITHIN LEASE SPACE TO REMAIN (NOT IN SCOPE)
	EXISTING AREA OUTSIDE OF LEASE SPACE TO REMAIN (NOT IN SCOPE)
	OCCUPANTS
	EXIT WIDTH PROV.
	EXIT WIDTH REQ.
	FIRE EXTINGUISHER LOCATION - FINAL LOCATION BY G.C. (MAX SEPARATION TRAVEL DISTANCE 75'-0")



CITY STAMP AREA

THIELEN & GREEN

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 763-553-7927
 WWW.TANDGARCH.COM

ORTIZ FAMILY RESTAURANTS
 5292 KYLER AVE NE
 ALBERTVILLE, MN 55301
 218-204-0528
 ORTIZRESTAURANTS@HOTMAIL.COM

SI SENOR MEXICAN RESTAURANT

5292 KYLER AVE NE
 ALBERTVILLE, MN 55301

ISSUE	DATE
CONCEPTUAL DESIGN	01/09/2024
SCHEMATIC DESIGN	07/02/2024
PLANNING & ZONING SUBMITTAL	07/16/2024
PERMIT & BID SET	TBD
FOR CONSTRUCTION	TBD

PRELIMINARY
 NOT FOR CONSTRUCTION

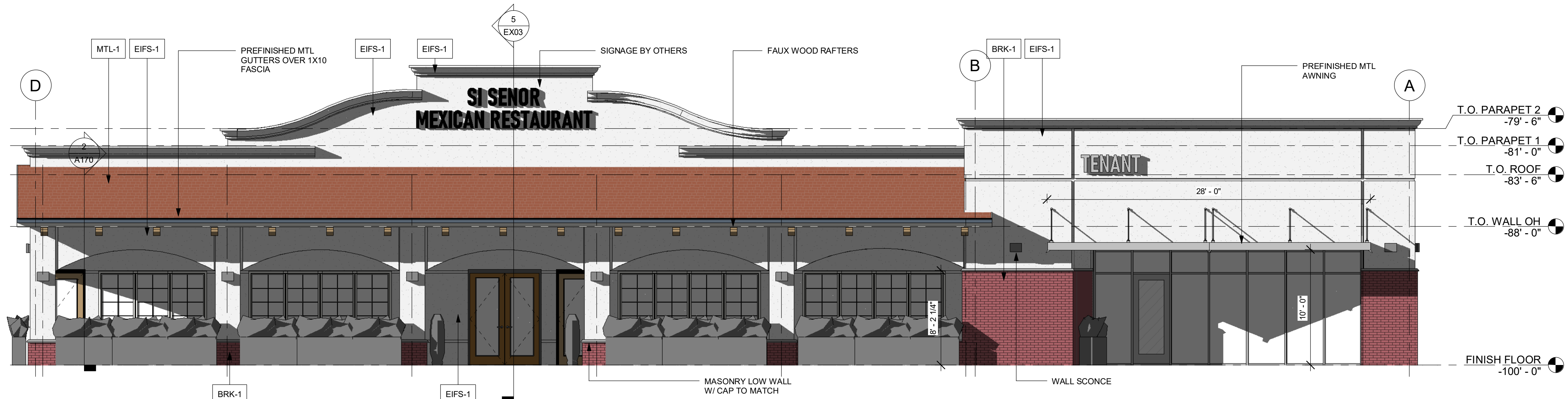
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CODE PLAN

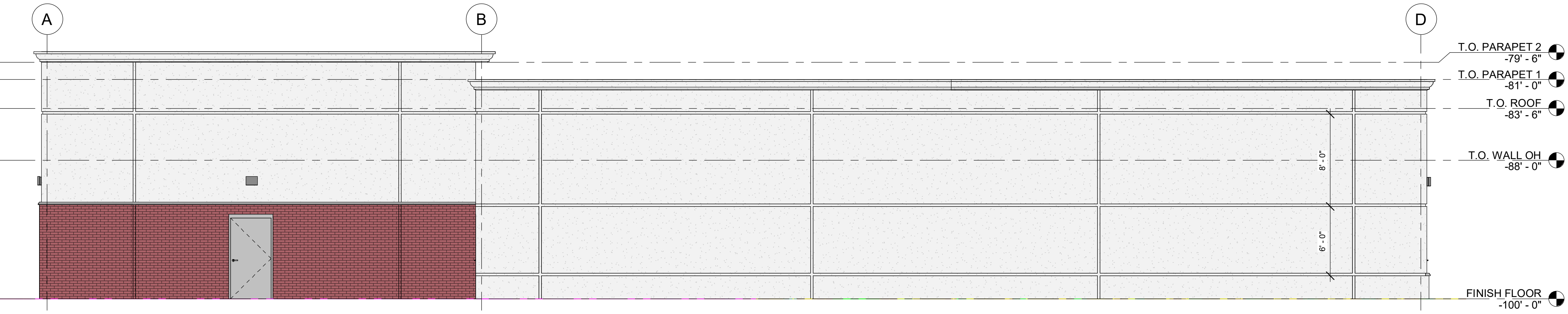
Project Number: 286_2024
 Date: 06/26/2024
 Drawn By: KPG
 Checked By: KMT

A001

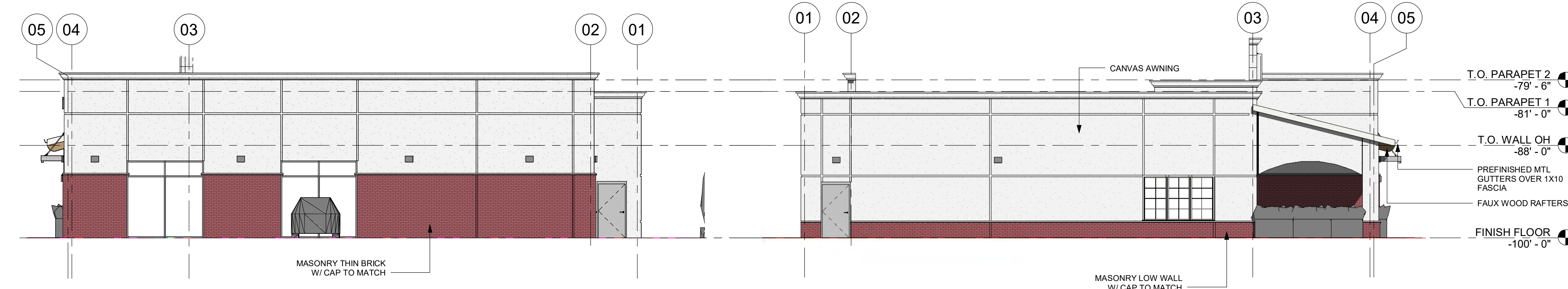
Scale: **As indicated**



2 CONCEPTUAL WEST EXTERIOR ELEVATION
3/16" = 1'-0"

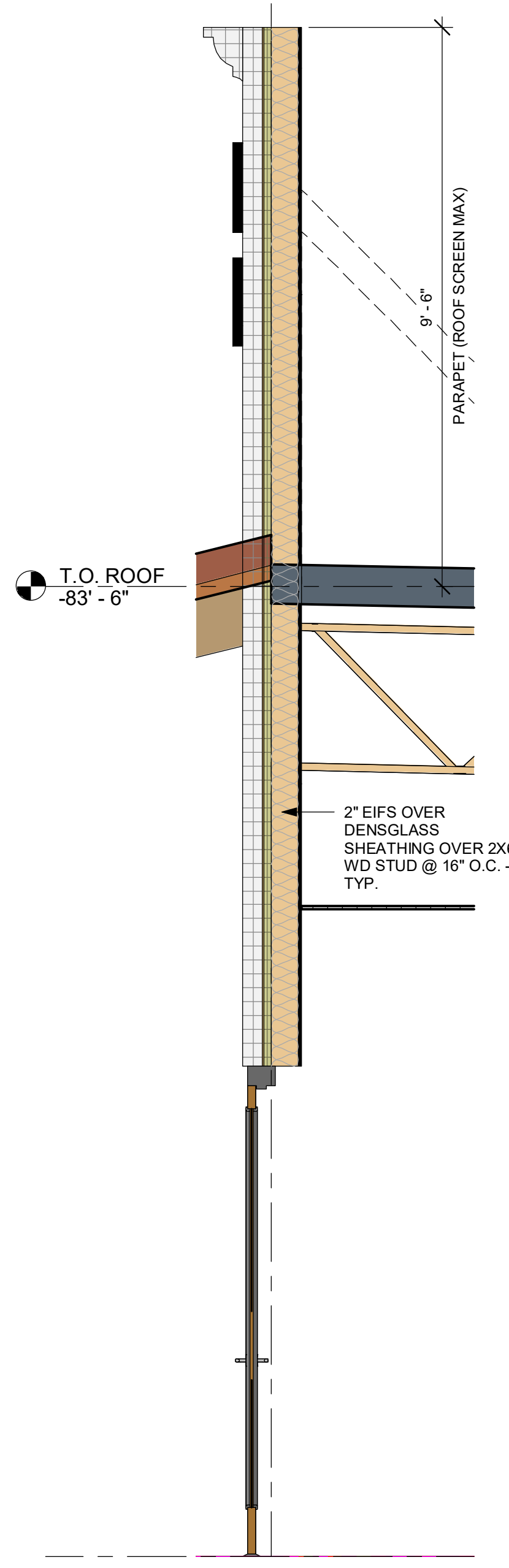


3 CONCEPTUAL EAST EXTERIOR ELEVATION
3/16" = 1'-0"



4 CONCEPTUAL NORTH EXTERIOR ELEVATION
1/8" = 1'-0"

1 CONCEPTUAL SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



5 CONCEPTUAL TYP. EXT. WALL SECTION
1/2" = 1'-0"



Exhibit H

CITY STAMP AREA
THIELEN & GREEN
7455 VILLAGE DRIVE, SUITE #110
LINO LAKES, MN 55014
763-553-7927
WWW.TANDGARCH.COM
ORTIZ FAMILY RESTAURANTS
5292 KYLER AVE NE
ALBERTVILLE, MN 55301
218-204-0528
ORTIZRESTAURANTS@HOTMAIL.COM

SI SENOR MEXICAN RESTAURANT

5292 KYLER AVE NE
ALBERTVILLE, MN 55301

ISSUE	DATE
CONCEPTUAL DESIGN	01/09/2024
SCHEMATIC DESIGN	07/02/2024
PLANNING & ZONING SUBMITTAL	07/16/2024
PERMIT & BID SET	TBD
FOR CONSTRUCTION	TBD

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CONCEPTUAL ELEVATIONS

Project Number	286_2024
Date	06/26/2024
Drawn By	KPG
Checked By	KPG, KMT

EX03

Scale **As indicated**



THIELEN & GREEN

Exhibit I

CITY STAMP AREA

THIELEN & GREEN

7455 VILLAGE DRIVE #110
LINO LAKES, MN 55104
763-553-7927
WWW.TANDGARCH.COM

ORTIZ FAMILY RESTAURANTS
5292 KYLER AVE NE
ALBERTVILLE, MN 55301
218-204-0528
ORTIZRESTAURANTS@HOTMAIL.COM

SI SENOR MEXICAN RESTAURANT

5292 KYLER AVE NE
ALBERTVILLE, MN 55301
PID 101137001010

ISSUE	DATE
CONCEPTUAL DESIGN	01-09-2024

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE STATE LAWS OF MINNESOTA

NOT FOR CONSTRUCTION
KRIS THIELEN

REGISTRATION NO: 59237 DATE: 03-29-2024

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CONCEPTUAL RENDERINGS	
Project Number	286_2024
Date	03-29-2024
Drawn By	KPG
Checked By	KPG, KMT
EX04	
Scale	



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN

CITY STAMP AREA

THIELEN & GREEN

7455 VILLAGE DRIVE #110
LINO LAKES, MN 55104
763-553-7927
WWW.TANDGARCH.COM

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ALBERTVILLE, MN 55301
218-204-0528
ORTIZRESTAURANTS@HOTMAIL.COM

SI SEÑOR MEXICAN RESTAURANT

5292 KYLER AVE NE
ALBERTVILLE, MN 55301
PID 101137001010

ISSUE	DATE
CONCEPTUAL DESIGN	01-09-2024

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE STATE LAWS OF MINNESOTA

NOT FOR CONSTRUCTION
KRIS THIELEN

REGISTRATION NO: 59237 DATE: 03-29-2024

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CONCEPTUAL RENDERINGS

Project Number 286_2024
Date 03-29-2024
Drawn By KPG
Checked By KPG, KMT

EX05

Scale

**CITY OF ALBERTVILLE
COUNTY OF WRIGHT
STATE OF MINNESOTA**

RESOLUTION NO. 2024-29

RESOLUTION APPROVING REQUESTS FOR AN AMENDMENT TO THE SHOPPES OF PRAIRIE RUN 2 SITE AND BUILDING PLANS FOR LOT 1, BLOCK 1 SHOPPES AT PRAIRIE RUN 2 TO ALLOW THE SI SENOR COMMERCIAL BUILDING AND FOR THE CONSTRUCTION A 7,227 SQ. FT. COMMERCIAL BUILDING CONTAINING A 4,832 SQ. FT. RESTAURANT AND 2,395 SQ. FT. COMMERCIAL TENANT BAY AT 5292 KYLER AVENUE NE WITHIN THE CITY OF ALBERTVILLE

WHEREAS, Heidi Ortiz has requested amendment to change Shoppes at Prairie Run 2 PUD final stage site and building plan to allow for the construction of a 7,227 sq. ft. commercial building containing a 4,832 square foot Si Senor restaurant and a 2,395 sq. ft. commercial tenant bay at 5292 Kyler Avenue NE; and

WHEREAS, City Staff has reviewed submitted plans and prepared a planning report dated August 1, 2024; and

WHEREAS, the Albertville Planning Commission met and held a public hearing on August 13, 2024, to consider the applications from Heidi Ortiz requesting an amendment to the Shoppes at Prairie Run 2 PUD site and building plans; and

WHEREAS, upon considering the application materials, the August 1, 2024, Planning Report and public testimony the Planning Commission closed the public hearing and recommended that the City Council approve the requested application for an amendment to the Shoppes of Prairie Run 2 PUD site and building plans to allow for the construction of a 7,227 sq. ft. commercial building with the findings and conditions outlined in the August 1, 2024, Planning Report; and

WHEREAS, upon considering the application materials, the August 1, 2024 Planning Report and the recommendations of the Planning Commission, the City Council agrees with the findings and recommendations of City Staff and the Planning Commission.

NOW, THEREFORE BE IT RESOLVED, that the City Council of Albertville, Minnesota hereby approves the amendment of the Shoppes of Prairie Run 2 PUD final stage site and building plans for Lot 1, Block 1, Shoppes at Prairie Run 2 to allow for the construction of a 7,227 sq. ft commercial building based on building plans dated 06/26/2024 and Civil plans dated 07/16/2024 for property at 5292 Kyler Avenue NE in Albertville with the following conditions.

1. The City approves the parking count as illustrated on the site plan as condition of the PUD.
2. The plan must be revised to accommodate garbage truck movements through the site without interfering with on-site parking stalls or travelling over parking lot curbs.

3. The Applicant shall establish cross-access easement between Lots 1 and 2, Block 1, Shoppes at Prairie Run 2 to provide shared access through these lots. Said cross-access easement shall be approved by the City Attorney and recorded with the County.
4. The outdoor dining area is approved as being 20% or less than the entire building's total floor area. This will be counted against any future outdoor dining areas requested for the building.
5. The outdoor dining areas must be segregated from the pathway to the main entrance. Access to the outdoor dining areas shall be provided only via the principal building if the dining area is a full-service restaurant or tavern, including table waiting service. All exit gates from the outdoor dining area shall be marked "Exit Only" and shall meet all building codes.
6. The Applicant shall provide a detailed lighting and photometric plan including the number, location of all freestanding and wall mounted lights and details on the types of light fixtures and details of the pole design and height of freestanding lights.
7. Applicant shall provide documentation of WCA approval of the wetland mitigation for the site.
8. Grading, Drainage and Utility plans shall be reviewed and approved by the City Engineer.
9. Water services shall be divided outside the building for potable water supply and fire suppression.
10. The site and building plans shall show the location and screening of ground mounted or rooftop mechanical equipment.

Adopted by the City Council of the City of Albertville on this 3rd day of September 2024.

Jillian Hendrickson, Mayor

ATTEST:

Kristine A. Luedke, City Clerk

September 3, 2024

SUBJECT: LEGAL – SPECIAL ASSESSMENT OF CLEANUP COSTS TO MAEYAERT PROPERTY

RECOMMENDATION: It is respectfully requested that the Mayor and Council consider the following:

MOTION TO: Adopt Resolution No. 2024-30 calling for Hearing on proposed assessment related to Nuisance and Zoning Violations on property located at 10479 61st Street N.E. in Albertville, MN.

BACKGROUND: On April 19, 2023, the Wright County District Court issued a second order authorizing the City to remove nuisances and zoning violations for the second time from the Maeyaert property. Like the first order, that order authorized the City to special assess the attorney's fees, court costs and cleanup costs to the Maeyaert property pursuant to Minn. Stat. § 429.101. On August 5, 2024, the City's contractor, Trilogy Properties, cleaned up the Maeyaert property.

KEY ISSUES:

- The City has incurred \$10,480 in costs in obtaining the Court order and cleaning up the Maeyaert property.
- The Court's order authorizes the City to special assess these costs against Maeyaert's property.
- The special assessments will bear interest at 10% per year.
- The City must hold a public hearing before such costs can be specially assessed. The resolution calls for the public hearing on October 7, 2024.
- The City has previously special assessed Maeyaert's property in excess of \$57,038.75 for past clean ups.
- 2025 taxes payable will include \$17,038.75 of the previously assessed amount plus the recently incurred \$10,480.

POLICY/PRACTICES CONSIDERATIONS: Because these costs are a direct result of Mr. Maeyaert's violation of City ordinances and the Court's prior order, it makes sense that he should bear all of the costs incurred by the City to bring his property into compliance with City ordinances.

FINANCIAL CONSIDERATIONS: If the City does not special assess these costs to the Maeyaert property, then these costs will likely be absorbed by the general fund and will essentially be borne by all taxpayers in the City rather than just Mr. Maeyaert.

LEGAL CONSIDERATIONS: The Court's April 19, 2023, Order authorizes the City to special assess these costs to the Maeyaert property.

Responsible Person: Mike Couri, City Attorney

Submitted Through: Adam Nafstad, City Administrator-PWD

Attachment:

- Resolution No. 2024-30

**CITY OF ALBERTVILLE
COUNTY OF WRIGHT
STATE OF MINNESOTA**

RESOLUTION NO. 2024-30

**RESOLUTION CALLING FOR HEARING ON PROPOSED ASSESSMENT
RELATED TO NUISANCE AND ZONING VIOLATIONS ON PROPERTY LOCATED AT
10479 61ST STREET N.E. IN ALBERTVILLE, MINNESOTA**

WHEREAS, the City of Albertville has obtained a Wright County District Court order against Charles Maeyaert (“Maeyaert”), the owner of property located at 10479 61ST Street N.E. in Albertville, Minnesota and identified as Wright County Property Identification Number 101-048003110 (“Property”); and

WHEREAS, such Court order gave Maeyaert 60 days to remedy the nuisance and zoning violations and provided that if he did not remedy such violations the City could enter onto the Property, remedy the violations, and special assess the costs of remedying such violations, including Court costs and attorney’s fees, against the Property pursuant to Minn. Stat. § 429.101 for collection with the real estate taxes; and

WHEREAS, Maeyaert did not remedy such violations and the City hired a contractor to enter the Property and dispose of the items that constituted such nuisance and zoning violations; and

WHEREAS, the City has incurred \$10,480 in contractor costs, attorney’s fees and Wright County Sheriff’s fee in remedying such violations; and

WHEREAS, the City Clerk has notified the City Council that a preliminary special assessment roll has been prepared and filed in her office for public inspection related to such costs.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE
THE CITY OF ALBERTVILLE, MINNESOTA:**

1. The City Council hereby accepts the preliminary assessment roll attached hereto as prepared.
2. A hearing shall be held on the 7th day of October 2024, in the Albertville City Hall at 7 pm to pass upon such proposed assessment and at such time and place all persons owning property affected by such assessment will be given an opportunity to be heard with reference to such assessment.
3. The portion of the cost of such improvement to be paid by the City is hereby declared to be \$0.00 and the portion of the cost to be assessed against the Property is declared to be \$10,480.
4. The City Clerk is hereby directed to cause a notice of the hearing on the proposed assessment to be published once in the official newspaper at least two weeks prior to the hearing. She shall also cause mailed notice to be given to the owner of each parcel described in the assessment roll not less than two weeks prior to the hearing.

5. The owner of any property so assessed may, at any time prior to certification of the assessment to the county auditor pay the whole of the assessment on such property, with interest accrued to the date of payment, to the City Clerk except that no interest shall be charged if the entire assessment is paid within 30 days from the adoption of the assessment. He may at any time thereafter, pay the City Treasurer the entire amount of the assessment remaining unpaid, with interest accrued to December 31 of the year in which such payment is made. Such payment must be made before November 15 (except in the year of the assessment) or interest will be charged through December 31 of the succeeding year. If not paid in full within 30 days of adoption of said assessment, said assessment shall bear interest at 10% per annum and shall be due in its entirety with the 2025 real estate tax payments.

Adopted by the City Council of the City of Albertville this 3rd day of September 2024.

Jillian Hendrickson, Mayor

ATTEST:

Kristine A. Luedke, City Clerk

GENERAL ADMINISTRATION

2025 Preliminary Budget: The 2025 Preliminary Budget will be included on the agenda. The Preliminary Budget needs to be approved by September 30.

O'Donnell Property: The City has entered into a purchase agreement for the property on 60th Street and will be working towards an October closing.

Transportation Alliance Fly-In: The annual D.C. fly-in event will be September 17 to 19. The I-94 Coalition is working to set up meetings with Minnesota's congressional members. Please let me know if you are interested in attending.

2024 General Election: Absentee voting for the November 5 General Election will begin in September with in-person voting available at the Albertville City Hall on September 23. The Albertville City Hall is open 7 am to 5:30 pm Monday through Thursday.

Parks Committee Vacancy: The Parks Committee still has a vacancy due to a resignation. The vacancy has been posted on the City's website and Facebook page.

Code/Zoning Enforcement: The City is working on several properties regarding zoning ordinance and/or nuisance ordinance violations. Generally, the violations include outdoor storage of vehicles, materials, and/or equipment, and typically include junk accumulation and illegal structures.

ENGINEERING/PUBLIC WORKS

Linwood Park Sport Courts: Quotes to replace the fencing, pavement, and paint the two sports courts (tennis and basketball) at Linwood park will be presented at the meeting.

I-94 Gap Project – Albertville to Monticello: The 3-year expansion project began on July 22. This year crews will prepare the work zone, including temporary lane widening and median crossovers. Major construction will take place spring 2025 to fall 2026. Overall, I-94 will remain open to two lanes, each direction, on one side of the interstate as crews construct the adjacent side.

Main Avenue Reconstruct: Staff is working on preliminary design and is working to coordinate a project schedule with Xcel.

Central Park Play Area: Staff is updating park playground plans and will be developing plans and specification for a 2025 project.

2024 Street Overlay: The project is underway and is expected to be completed by the end of the month.

WWTF Improvements: The project continues to progress well. Currently, the Contractor is working to complete site grading and road construction.

Generator Improvements: The generator for the fire hall and Villas Lift Station are expected to arrive by the end of the year.

Lift Station Upgrades: Public Works is working on 4 lift station upgrades. Generally, upgrades are related to control panels and electrical components. Eligible expenses can be paid with ARPA funds otherwise are paid with enterprise capital reserves.