



**PLANNING COMMISSION MEETING**  
**Wednesday August 14, 2024**  
**7 PM**

**1. CALL TO ORDER - ROLL CALL – ADOPT AGENDA**

**2. MINUTES**

- a. July 9, 2024, Planning Commission Meeting Minutes (Pages 2-5)

**3. PUBLIC HEARINGS**

- a. Public hearing to consider a development application from Larry Frase for a second accessory building exceeding 150 sq. ft. in floor area at 11760 57<sup>th</sup> Street. (Pages 6-12)
- b. Public hearing to consider a development application from Gravity Dance Studio for an amendment to the Albertville Plaza 2<sup>nd</sup> Addition PUD and site and building plan for the construction of the 9,176 sq. ft. Commercial building on Lot 2, Block 1, Albertville Plaza 2<sup>nd</sup> Addition. (Pages 13-34)
- c. Public hearing to consider a development application from Heidi Ortiz for an amendment to the Shoppes at Prairie Run PUD and site and building plan for the construction of a 7,227 sq. ft. commercial building, including a 4,832 restaurant with outdoor dining on Lot 2, Block 2, Shoppes at Prairie Run 2. (Pages 35-52)

**4. OTHER BUSINESS**

- a. None

**5. ADJOURNMENT**



## ALBERTVILLE PLANNING COMMISSION

TUESDAY, JULY 9, 2024

### DRAFT MINUTES

ALBERTVILLE CITY HALL 7:00 PM

#### 1. CALL TO ORDER – ROLL CALL – ADOPT AGENDA

Chair Buhrmann called the meeting to order at 7 pm.

Maeghan Becker conducted roll call.

**Present:** Chair Buhrmann and Commissioners Anderson, Huggins, Smith, Pinski and Council Liaison Zagorski.

**Absent:** None.

**Others Present:** City Planner Al Brixius, Building Permit Tech Maeghan Becker and Sean Graham with Insite Real Estate.

**Motioned by Huggins, seconded by Anderson to approve the agenda as submitted. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.**

#### 2. MINUTES

**Motioned by Buhrmann, seconded by Pinski to approve the June 11, 2024, Planning Commission meeting minutes as presented. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.**

#### 3. PUBLIC HEARINGS

**Public hearing to consider a development application of Insite Development Services LLC. for a and Preliminary Plat entitled Albertville Plaza 3rd Addition, PUD /B-2A zoning map and text amendment, PUD Development Stage Site and Building plan for the development of a 10,000 sq. ft. commercial daycare at 5953 Labeaux Avenue NE in Albertville.**

- **Planning Report and Exhibits**
- **Engineer's Review Comments**
- **County Review Comments.**

Brixius reminded commissioners that the public hearing was tabled at the last planning commission meeting on June 11, 2024 for Kindercare Daycare Albertville Plaza 3<sup>rd</sup> Addition.

Brixius went over the planner's report dated July 2, 2024. The applicant is proposing a three-lot subdivision, a zoning map and text amendment to change the zoning on the site from B-2A to PUD/B-2A and a PUD development state site and building plan for the construction a 10,000 square foot daycare facility called KinderCare which require the following applications:

1. Subdivision
2. PUD Zoning
3. PUD Development Stage sit and Building Plan Approval

Brixius went over the Exhibits of the proposed development with Commissioners. The applicant has submitted a preliminary plat for a three-lot subdivision that will be accessed through a private street connection from the Albertville Plaza. Brixius went through items and staff comments talking about lots and setbacks, streets and grading/stormwater and utilities.

After review of the landscaping plan, staff recommends approval with the following conditions:

1. The landscape and grading plans provide tree preservation fencing along the drip lines of the existing trees at the northwest portion of the site to prevent compaction of the roots of these trees.
2. The landscape plan and grading plan be revised to relocate the conifer trees along the west boundary to the up-slope area of the site to break up the building mass.
3. Lighting on the west side of the building must be 90 degrees cut off light fixtures with extended hoods to shield the light source from the homes to the west.

After review of the Albertville preliminary plat subdivision staff recommends approval with the following conditions:

1. City approval of the Albertville Plaza 3<sup>rd</sup> Addition B-2A/PUD zoning district over the entire development site.
2. A private street easement over the lots must be prepared by the applicant that defines the location and configuration of the private street. The street easement must allow shared access to all the lots in Albertville Plaza 1<sup>st</sup>, 2<sup>nd</sup>, 3<sup>rd</sup> Additions. The street easement shall be recorded simultaneously with the final plat.
3. All lots within the Albertville Plaza 1<sup>st</sup>, 2<sup>nd</sup>, and 3<sup>rd</sup> Additions shall be members of a business association that jointly manages and maintains the private streets.
4. The applicant shall provide a copy of the business associations document that outline the terms for the management and maintenance of the private street and any common owned amenities.
5. The plat proposes right in/right out curb cut onto county road 19. The curb cut will require an access permit from the County and subject to the Couty requirements.
6. The plat grading and drainage plan shall be subject to the review and approval of the City Engineer.
7. The utility plan shall be subject to the review and approval of the City Engineer.
8. Potable water and fire suppression will require separate service line and valves leading into the building.
9. All minor utilities shall be installed and located in a joint trench.
10. The plat shall provide utility easements over all utilities, drainage ways and stormwater ponds serving the plat, the size and location shall be subject to the review and approval of the City Engineer.
11. The applicant shall enter into a development agreement with the City for the required site improvements and the installation of the public utilizes and private street.

Based on the findings of the PUD/B-2A zoning, staff is recommending approval based on the following conditions:

1. Uses allowed in the B-2A/PUD district shall be the same as the B-2A base zoning district.

2. Setbacks in the B-2A/PUD district shall be same the B-2A district except the building setback shall be a minimum of 20 feet from the back of the curb of the private street. Parking setback shall be a minimum of 10 feet from the back of the curb of the private street.
3. The lots within the Albertville Plaza 3<sup>rd</sup> Addition shall be a member of a business association responsible for the management and maintenance of the private street and common owned amenities.

After review of the PUD/B-2A site and building plan, based on the building plan set dated December 5, 2023, an the civil plans dated May 14, 2024 for the KinderCare daycare on Lot 3 Albertville Plaza 3<sup>rd</sup> addition, staff recommends approval with the following conditions:

1. Approval of the Albertville Plaza 3<sup>rd</sup> Addition Plat and its B-2A/PUD zoning district.
2. Increasing the center and northern burb cut into Lot 3 to 30 feet to allow for ease of truck movements through the Daycare parking lot.
3. Applicant shall provide a construction detail for the trash enclosure demonstrating compliance with the zoning code standards.
4. The site or building plans shall show the location of all ground mounted or rooftop mechanical equipment and its screening from view of adjoining properties and streets.
5. The landscape and grading plans provide tree preservation fencing along the drip lines of the existing trees at the northwest portion of the site to prevent compaction of the roots of these trees.
6. The landscape plan and grading plan relocated the conifer trees along the west boundary to the up-slope area of the site to break up the building mass.
7. Lighting on the west side of the building must be 90 degrees cut off light fixtures with extended hoods to shield the light source from the homes to the west.
8. Grading and utility plan shall be subject to the review and approval of the City Engineer.

Brixius discussed that the two proposed lots that are not going to be developed right away will also have to follow this proposed zoning district and they will also be apart of Albertville Plaza 3<sup>rd</sup> Addition association. They will also be responsible for the maintenance of the private streets and common areas. Commissioners discussed that Culvers is Albertville Plaza 1<sup>st</sup>, and Good Year is Albertville Plaza 2<sup>nd</sup>.

At the last meeting, the applicant only had a grading plan for the KinderCare site, not the entire development. We now have a grading plan for the entire site which gives staff an idea of how the site will generate storm water and where the ponds will be located and how they will be managed.

Brixius went over the grading, utility and parking plan with the commissioners.

Commissioners discussed who is to maintain the utility through private roads. Brixius said we require a drainage and utility easement where city staff can go in and repair as public utility and the property owner or association would repair the street.

Commissioners discussed the private street versus public streets throughout Albertville.

Commissioners discussed the grading plan for all the lots, Brixius stated that Insite will be grading the KinderCare lot, and the other two lots will be graded once they are developed.

Commissioners discussed the current owners of the lot and are concerned they do not fully understand that until the two other lots are developed, they will be responsible for the private roads. Brixius stated that they are hoping they can work with the association on an alternative for the financial obligations. Brixius stated that the family's attorney will be looking out for the best interests of the family and will work with the association contracts.

Commissioner Smith removed herself from the meeting at 7:30pm unexpectedly.

Commissioners discussed who would be responsible for the two lots that would not be developed. Brixius informed that the owner of each lot would be responsible for the maintenance, in regards to weeds, of their own lots.

Commissioners discussed the right-in turn lane, which will be put in by the developer and if it will impact lot 1 setbacks. Brixius said yes, if there is additional right-of-way that is required that will adjust the property line and that would be addressed in the final plat. Also, there is a trail area that would need to be considered also.

Commissioners discussed what the traffic flow and the daycare occupancy might be with the proposed daycare.

Sean Graham with Insite Real Estate informed commissioners that they have been working on the by-laws and maintenance agreements with the owner of the property and the current association members.

***Motioned by Pinski, seconded by Anderson to close the Public Hearing. Ayes: Buhrmann, Anderson, Huggins and Pinski. Nays: None. Absent: Smith. MOTION DECLARED CARRIED.***

***Motioned by Huggins, seconded by Anderson to approve the Preliminary Plat entitled Albertville Plaza 3rd Addition, PUD /B-2A zoning map and text amendment, PUD Development Stage Site and Building plan for the development of a 10,000 sq. ft. commercial daycare at 5953 Labeaux Avenue NE with the conditions listed in the July 2, 2024, planners report. Ayes: Buhrmann, Anderson, Huggins and Pinski. Nays: None. Absent: Smith. MOTION DECLARED CARRIED.***

#### **4. OTHER BUSINESS**

None.

#### **5. ADJOURNMENT**

***Motioned by Anderson, seconded by Pinski to adjourn the meeting at 7:41pm. Ayes: Buhrmann, Anderson, Huggins and Pinski. Nays: None. Absent: Smith. MOTION DECLARED CARRIED.***

Respectfully submitted,

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Maeghan Becker, Building Permit Tech

**PLANNING REPORT**

TO: Adam Nafstad  
FROM: Alan Brixius  
DATE: August 1, 2024  
RE: Frase – CUP Oversized Accessory Building  
FILE NO: 163.06 24.04

**BACKGROUND**

Mr. Larry Frase has submitted a development application requesting a conditional use permit to allow a detached accessory building along with their existing attached garage that is 192 square feet in floor area. His property at 11760 57<sup>th</sup> Street is zoned R-1 Single Family Zoning District which allows for a second accessory building in addition to the attached garage in excess of 150 square feet by conditional use permit. The following analysis compares Mr. Frase’s request against the conditional use permit for an oversized shed.

**EXHIBITS**

- Exhibit A: Shed detail
- Exhibit B: Site plan

**ANALYSIS**

**Zoning:** The property at 11760 57<sup>th</sup> Street NE. is zoned R-1 Single Family zoning district. The lot is oversized when compared to the R-1 zoning district standards, 90 feet wide and 153 feet deep. The site abuts the railroad to the north. The lot size and surrounding land uses will allow the larger shed to fit within the neighborhood

**Accessory Building Requirements.** The following rules apply to accessory buildings (sheds) in the R-1 district.

**Setbacks:** Accessory buildings must be located in the rear yard and meet the following setbacks.

Accessory Buildings shall be located in the rear yard and meet the following setbacks. Rear Yard but not less than ten feet (10'). Side Yard: As required by zoning district. The R-1 district setback is ten (10') feet.

**Comment:** The submitted site plan meets the required setbacks.

**Number of buildings:** No more than two (2) accessory storage buildings or garages shall be allowed on one or more single-family lots under common ownership. One attached garage and one shed is permitted.

**Comment:** If a second building already exists, it must be removed with the construction of the new building.

**Building size:** A second accessory storage building may not exceed one hundred fifty (150) square feet in floor area, when accompanied by an attached garage on the same lot, except by conditional use permit. A detached accessory building in an R-1 zoning district may not exceed 16 feet in height. The building height is measured between the ground to the midpoint between the eave and the peak of the roof.

**Comment:** The proposed building is 12' x 16' or 192 sq. ft. in floor area. This size shed will require a CUP. The building height appears to meet the Code requirements.

**Building Type Standards:**

1. The same or similar quality "exterior building material" (meaning exterior finish and color) shall be used in the accessory building and in the principal building.
2. All accessory buildings shall also be compatible with the principal building on the lot. "Compatible" means that the exterior appearance of the accessory building is not different from the principal building from an aesthetic and architectural standpoint, as to cause:

**Comment:** The shed shall be constructed with material and color to match the house.

**Conditional Use Permits:** Application for a conditional use permit under this section shall be regulated by chapter 400 of this ordinance. Such a conditional use permit may be granted; provided the following are met:

1. There is a demonstrated need and potential for a continued use of the structure and the purpose stated.
2. The building has an evident reuse or function related to the principal use.
3. Accessory building shall be maintained in a manner that is compatible with the adjacent residential uses and does not present a hazard to public health, safety, and general welfare.
4. For conditional uses for a second accessory building exceeding one hundred fifty (150) square feet in floor area in the R-1A, R-1, R-2, R-3, or R-4 zoning districts, the accessory building shall not occupy more than twenty five percent (25%) of a rear yard and/or the cumulative floor area of all accessory buildings on the lot and shall not exceed ten percent (10%) of the minimum lot area standard of the respective district.
5. The accessory building will not be used for a commercial use or home occupation.

**Comment:** In discussion with the property owner, the building size is needed for personal storage related to the residential use of the house. The building meets these CUP requirements.

**CONCLUSION**

In review of the requested conditional use permit for 192 sq. ft. at 11760 57<sup>th</sup> Street NE shed we recommend approval with the following conditions.

1. The shed shall have a color and exterior building to match the house.
2. The shed shall not be used for commercial and or home occupation.





### DEVELOPMENT APPLICATION

Received Date: 06/26/2024  
15-Day Review: —  
Publish Date: 07/25/2024  
Planning Date: 06/14/2024  
Council Date: 09/03 or 09/16

Case No: 2024-007 PM  
Base Fee: \$ 300  
Escrow Amt: \$400 Pd. 6/26/24  
Date Filed: 06/27/2024

*Please read carefully and answer all questions thoroughly. All properties are required to be current on all fees, licenses, fines, taxes, or assessments in order to have a complete development application accepted for review by the City. Only complete applications will be accepted after validation by City staff and prior to acceptance of required processing fees/deposits.*

**Type of Request(s):**

**Zoning**

- Site and Building Plan Review
- Comprehensive Plan
- Zoning Text Amendment
- Rezoning (Map Amendment)
- Minor/Major Variance/Appeal
- Conditional Use Permit
- PUD Concept Plan/Amendment
- PUD Rezoning
- Concept Plan Review

**Subdivision**

- Minor Subdivision/Consolidation
- Preliminary Plat
- Final Plat
- Subdivision Grading Plan
- Other \_\_\_\_\_

Address of Subject Property: 11760-57<sup>th</sup> Street NE Albertville  
Name of Business: \_\_\_\_\_

**Legal Description of Property (attach additional sheet if necessary):**

Lot 2 (two) Block 1 (one) Plat# \_\_\_\_\_  
Subdivision Barthel Manor Albertville PID# \_\_\_\_\_

Current Zoning Classification (circle): A1 A2 R1-A R1 R2 R3 R4 R5 R6 R7 R8  
RMH B2 B2-A B3 B4 BW I1 I2 P/I

Owner: Name (Print) Larry & Karica Frase  
Address 11760-57<sup>th</sup> St. NE  
City Albertville State MN Zip 55301  
Telephone (Home) N/A (Business) N/A (Fax) N/A  
Cell Phone \_\_\_\_\_ Email Address \_\_\_\_\_

**Applicant (If other than the owner):**

Owner: Name (Print) \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Telephone (Home) \_\_\_\_\_ (Business) \_\_\_\_\_ (Fax) \_\_\_\_\_

Cell Phone \_\_\_\_\_ Email Address \_\_\_\_\_

Description of Request(s): 12' x 16' Shed for backyard.

EFFECTS OF THE PROPOSED USE: List impacts the proposed use will have on property in the vicinity, including, but not limited to traffic, noise, light, smoke/odor, parking, and describe the steps taken to mitigate or eliminate the impacts: N/A

Reason Why Request Should Be Granted: We need additional storage space.

Existing Use of the Property / Nature of Facility or Business: \_\_\_\_\_

If a request for planning/zoning action on the subject site or any part thereof has been previously sought, please describe it below:

What? \_\_\_\_\_

When? \_\_\_\_\_

Project Name, if applicable: \_\_\_\_\_

Are taxes for the property paid to date? Yes

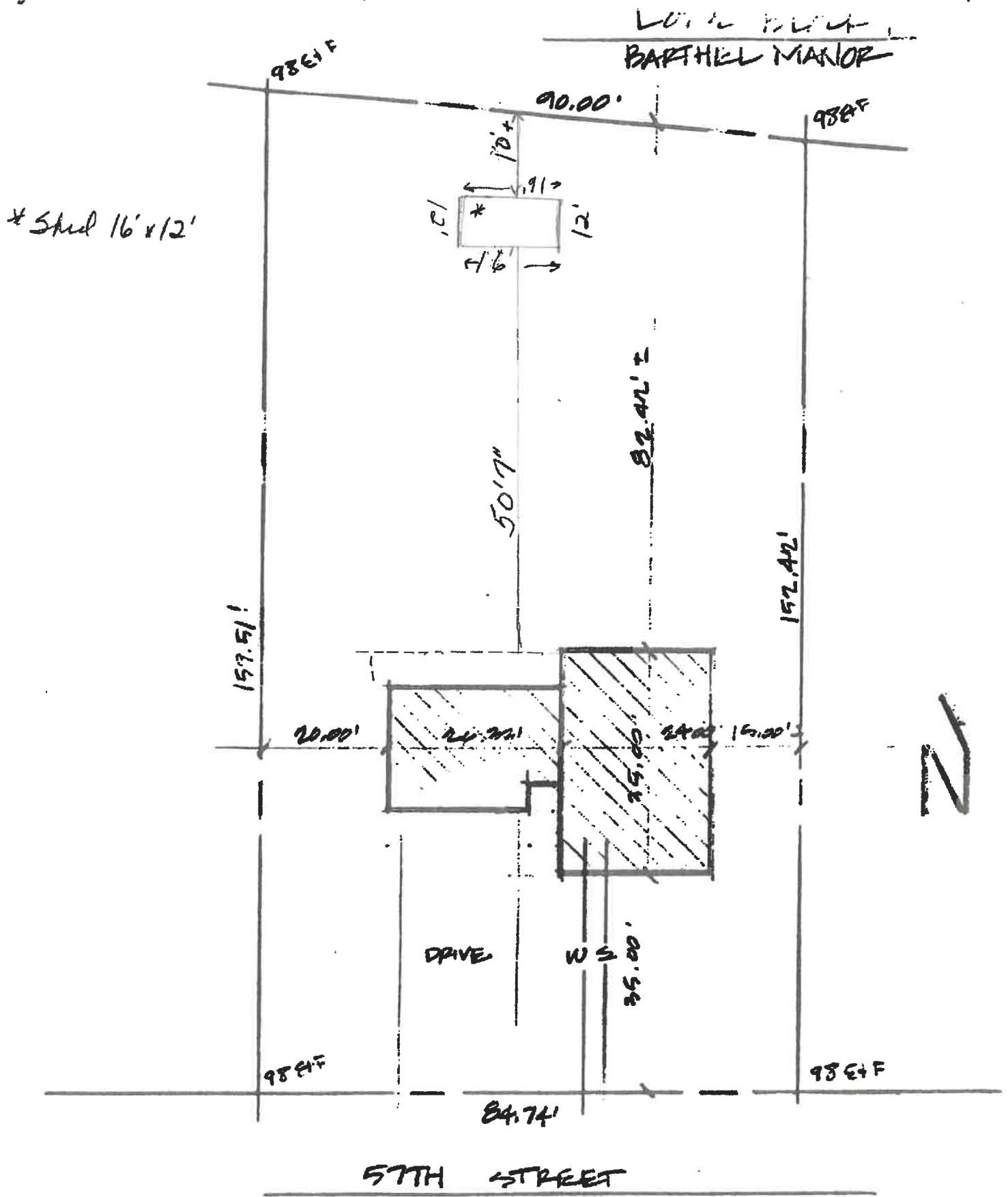
*I hereby apply for the above consideration and declare that the information and materials submitted with this application are in compliance with City Ordinance and Policy Requirements and are complete and accurate to the best of my knowledge.*  
*I understand that the application will be processed for the next available meeting agenda after review of the information submitted to determine if any other data is needed and after completion of a staff report.*  
*I understand that all City incurred professional fees and expenses associated with the processing of this request are the responsibility of the property owner and/or applicant and should be promptly paid. If payment is not received from the applicant, the property owner acknowledges and agrees to be responsible for the unpaid fee balance either by direct payment or a special assessment against the property. If the property fee owner is not the applicant, the applicant must provide written authorization by the owner to make application.*

Signature(s) of Owner(s): [Signature] Date: 6/25/2024

Signature of Applicant(s): [Signature] Date: June 25, 2024  
[Signature] Date: 6/25/2024

Approved \_\_\_\_\_ Denied \_\_\_\_\_ by the Planning Commission on: Date: \_\_\_\_\_  
Approved \_\_\_\_\_ Denied \_\_\_\_\_ by the City Council on: Date: \_\_\_\_\_

**Distribution**  
City Planner: \_\_\_\_\_ Building Official: \_\_\_\_\_ Finance Dir \_\_\_\_\_  
City Engineer: \_\_\_\_\_ City Clerk \_\_\_\_\_



11760 57th Street NE  
 Larry & Karen Frase

SCALE - 1" = 20'-0"

**5**

YEAR LIMITED WARRANTY

### THE SUNDANCE SERIES® TR-800

The 8' sidewall height allows for more overhead room and a taller 4'x6'7" door, placed on any wall. Can accommodate porch upgrade.

- 2x6 Galvanized Steel Foundation
- 4'x6'7" Steel Reinforced Tuff Shed® Door
- Endwall or Sidewall Door Placement

- 7'8" Clear Interior Sidewall Height
- 16" On Center 2x4 Wall Framing
- 6" Block Sidewall Eave

Shown with optional upgrades, including paint, windows, shutters, double door, door trim and in-door transom upgrades.



**5**

YEAR LIMITED WARRANTY

### THE SUNDANCE SERIES® TB-800

Maximize your storage space with another foot of sidewall height and more overhead room. The 8' sidewalls allow for a 4'x6'7" door placed on any wall. This model can also accommodate porch and 2nd Floor upgrades (see info below). Shown here with paint upgrade.



**PLANNING REPORT**

TO: Adam Nafstad  
FROM: Alan Brixius  
DATE: August 2, 2024  
RE: Gravity Dance Studio – Albertville Plaza 2<sup>nd</sup> Addition PUD  
FILE NO: 163.06 24.05

**BACKGROUND**

Gravity Dance Studio has requested PUD Development Stage Site and Building Plan approval to allow the construction of a 9,176 square foot dance studio upon a 2.0-acre undeveloped site located southwest of the intersection of County Road 37 NE and County Road 19 NE. Specifically, the subject site occupies Lot 2, Block 1 of the Albertville Plaza 2<sup>nd</sup> Addition.

The site is zoned PUD, Planned Unit Development/B-3, Highway Commercial. The PUD zoning designation was applied at the time of platting to allow the construction of private streets within the subdivision.

**EXHIBITS**

- Exhibit A: Approved Albertville Plaza PUD Concept Plan
- Exhibit B: Site and Utility Plan
- Exhibit C: Grading and Erosion Control Plan
- Exhibit D: Landscape Plan
- Exhibit E: Lighting Plan
- Exhibit F: Building Floor Plan
- Exhibit G: Building Elevations
- Exhibit H: Building Renderings

**ANALYSIS**

**Land Use:** As noted, the subject site is zoned PUD, Planned Unit Development/B-3, Highway Commercial. Within the B-3 zoning district “recreational businesses” including dance schools are permitted uses.

**Lot Area:** The subject site was platted as Albertville Plaza 2<sup>nd</sup> Addition subdivision. The site measures 2.02 acres in size and is presently undeveloped. The subject size meets applicable dimensional requirements imposed in the B-3 district.

**Setbacks:** The following table illustrates that the footprint of the building, and associated parking area meet applicable setback requirements. The building and parking lot meet all the required setbacks.

	Required	Proposed	Compliant
<b>Structure Setbacks</b>			
Front (North) (from private street)	25 feet	290 feet	Yes
Side (East) (from private street)	20 feet	22 feet	Yes
Side (West)	35 feet (abuts an R district)	40 feet	Yes
Rear (South)	20 feet	20 feet	Yes
<b>Parking Setbacks</b>			
Front (North) (from private street)	10 feet	80 feet	Yes
Side (East) (from private street)	10 feet	12 feet	Yes
Side (West)	10 feet (abuts an R district)	15 feet	Yes
Rear (South)	NA	NA	Yes

**Access:** Site access will be via a private street that runs through the Albertville Plaza 1<sup>st</sup>, 2<sup>nd</sup>, and ultimately 3<sup>rd</sup> Additions. As a condition of site and building plan approval, the property owner shall be required to be a member of a business property owners’ association for the subdivision which is responsible for the maintenance and upkeep of the common elements including, but not limited the private streets, streetlights and the shared stormwater ponds.

The subject site is to be accessed from the east via two curb cut locations each measuring 22 feet in width meeting code.

**Off-Street Parking:**

Parking Supply. The Albertville Zoning Code does not have a parking standard specifically for “dance studios.”

According to an American Planning Association reference document entitled “Off-Street Parking Requirements” however, the following parking supply standard is recommended for “dance school” uses:

***One space per four students (at maximum dance school capacity)***

The submitted site plan illustrates 56 off-street parking stalls, three of which are accessible stalls. In addition, 10 “proof of parking” stalls are illustrated along the northern boundary of the parking lot. Thus, a maximum of 66 stalls can be available to accommodate the off-street parking demand generated by the proposed use. Based on the occupancy loads identified on the floor plan the 56 stalls will be

sufficient to meet the needs of the dance studio. If the parking demand exceeds the available supply the proof of parking stall must be constructed. If parking occurs outside of approved parking stalls or on the private street the City will mandate the construction of the proof of parking stalls.

Dimensional Requirements. All parking stalls and drive aisles have been found to meet the minimum dimensional requirements of the Ordinance (9 feet wide and 20 feet in length with drive aisle widths not less than 24 feet).

Accessible Parking. In accordance with minimum ADA standards, the illustrated parking lot includes three disability parking stalls. As a condition of site and building plan approval, the disability stalls must include proper signage.

**Loading:** The proposed building will contain both the dance studio and another retail tenant space. As part of plan review, the site must have adequate area within the parking lot to accommodate turning maneuvers of oversized vehicles including garbage and delivery trucks.

While the curb cut locations and widths are considered acceptable for dance studio patron vehicles, some concern exists whether such width and related turning radii will be able to accommodate turning maneuvers of oversized service vehicles. As a condition of site and building plan approval, the applicant must demonstrate, to the satisfaction of the City, an ability to accommodate trash handling and delivery vehicles on the site by superimposing truck movements through the site plan.

**Trash:** As shown on the submitted site plan, a detached trash handling enclosure is proposed near the northwest corner of the dance studio building. The applicant shall be required to provide a detail of the trash enclosure demonstrating that its exterior finish materials match or complement the principal building.

**Landscaping:** As required, a landscape plan has been submitted for review. In total, the landscape plan calls for a total of 133 new plantings on the site. The majority of proposed site plantings are located along the subject site's western boundary which abuts single family residential uses. In this regard, the plantings are intended to provide a screen between the residential uses and higher intensity dance studio use.

Additional plantings are proposed along the site's eastern boundary (alongside the private street), north and south of the dance studio building, and within the parking lot.

Also of note is that seed mix is proposed to be located around the periphery of the stormwater pond (located near the subject site's northern boundary).

The location and variety of proposed site plantings are considered satisfactory, some concern exists in regard to the immediate effectiveness of the screen plantings proposed along the site's western boundary. According to the landscape plan, 24 Nannyberry Viburnum plantings are proposed along the west property line. The Nannyberry Viburnum must be shrubs rather than trees to be an effective screen. With the Viburnum being of a #10 container size they will be immediately effective in screening the parking lot.

**Grading and Drainage:** Appropriately, a grading and erosion control plan has been submitted for review. The plan shall be subject to review and approval by the City Engineer.

**Utilities:** The provided utility plan has been superimposed on the submitted site plan. The utility plan shall be subject to review and approval by the City Engineer. The Utility plan must provide separate potable water and fire suppression services entering the building.

**Lighting:** According to the submitted lighting plan, two freestanding light fixtures are proposed within the parking lot curb islands and nine wall mounted fixtures are proposed along the perimeter of the dance studio building. The photometric plan illustrates that proposed light levels are compliant with City code requirements.

As a condition of site and building plan approval, all lighting must be hooded at 90 degrees and luminaries must not extend beyond the 90-degree cutoff (such that light sources are not visible from neighboring streets and properties). Further, the freestanding light fixtures may not exceed the maximum 30-foot height requirement of the Ordinance.

**Building Design:** The building exterior elevations is a combination of LP siding and Smart Panels, manufactured Stone veneer of various colors and textures resulting in an attractive commercial building. The building elevations comply with the B-3 district architectural standards.

## **CONCLUSION**

Based on the preceding review, Staff recommends approval of PUD Development Stage Site and Building Plans subject to the following conditions:

1. The property owner shall be required to be a member of a business property owners' association for the subdivision which is responsible for the maintenance and upkeep of the common elements including, but not limited the private streets, streetlights and the shared stormwater ponds
2. The site plan shall demonstrate truck turning movements to accommodate trash handling and delivery vehicles moving through the site.
3. The City retains the right to require the proof of parking stalls be constructed if parking occurs outside of approved parking stalls or on the private street.
4. Disability parking stalls shall include proper signage.
5. The applicant shall be required to provide a detail of the trash enclosure demonstrating that its exterior finish materials match or complement the principal building.
6. The Nannyberry Viburnum must be shrubs rather than trees to be an effective screen.
7. The grading and erosion control plan shall be subject to review and approval by the City Engineer.



8. The utility plan shall be subject to review and approval by the City Engineer.
9. Applicant shall provide details on the exterior light fixture. All lights must be 90 degree cutoff fixtures with shielded light source to prevent glare toward the residential properties.
10. Freestanding light fixtures shall not exceed the maximum 30-foot height requirement of the Ordinance.

Cc. Maeghan Becker  
Kris Luedke  
Mike Couri  
Kevin Benshoof  
Ryland Rosenlund

**ALBERTVILLE  
PLAZA**

**CITY OF**



**MINNESOTA**

**OWNER**  
**ALBERTVILLE PLAZA LLC**

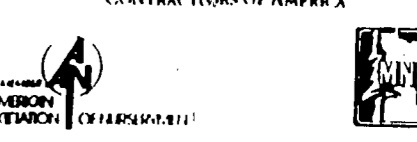
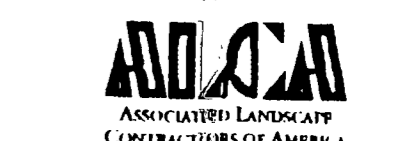
75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-0636  
FAX (651) 484-0701

**DEVELOPER**  
**RJ MARCO CONSTRUCTION, INC.**

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-0636  
FAX (651) 484-0701

**Margolis  
Company**

Landscape Contractors  
295 West Larpent Street 612/488-7258  
Rossville, Minnesota 55113  
Fax 612/488-0533



**REVISIONS**

NO.	DATE	DESCRIPTION
1	5-5-06	ISSUE FOR PERMIT
2	7-27-06	CITY REVISIONS
3		CITY REVISIONS

**QUALITY MANAGEMENT REVIEW**

NO.	DATE	REVISION
1		
2		

**REVISIONS**

NO.	DATE	DESCRIPTION
1	5-5-06	ISSUE FOR PERMIT
2	7-27-06	CITY REVISIONS
3		CITY REVISIONS

**QUALITY MANAGEMENT REVIEW**

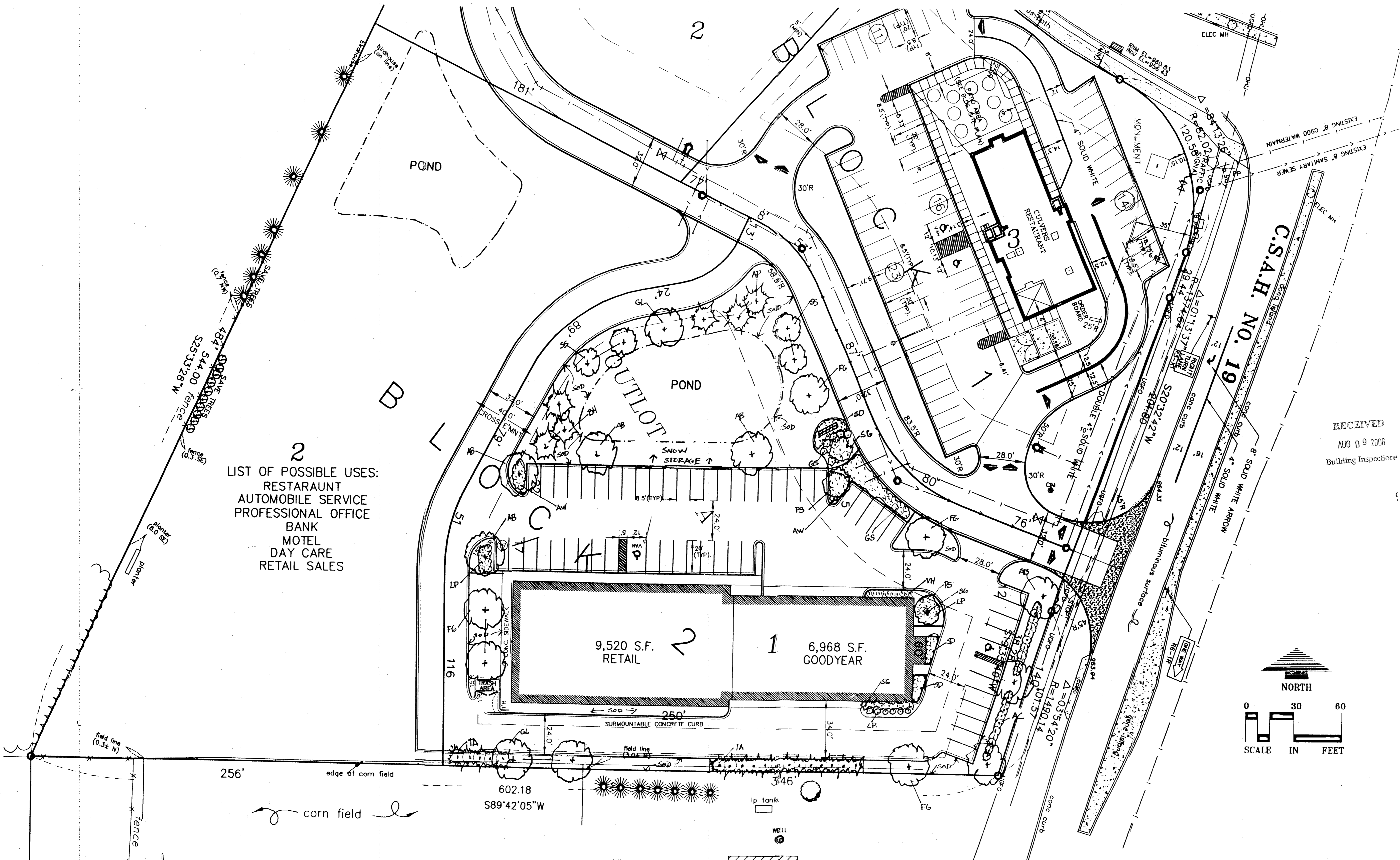
NO.	DATE	REVISION
1		
2		

**Lowcks  
ASSOCIATES**

Planning • Civil Engineering • Land Surveying  
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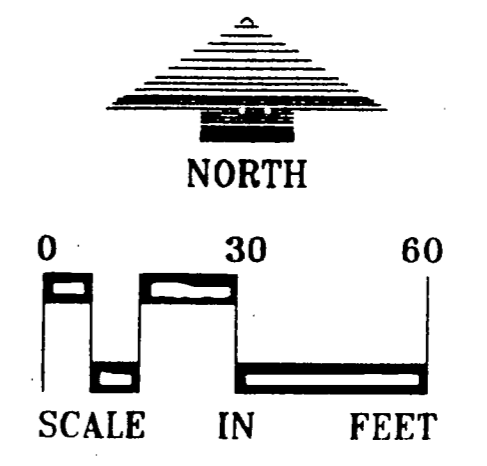
**L-1**

PROJECT NO.



- LIST OF POSSIBLE USES:**
- RESTAURANT
  - AUTOMOBILE SERVICE
  - PROFESSIONAL OFFICE
  - BANK
  - MOTEL
  - DAY CARE
  - RETAIL SALES

RECEIVED  
AUG 9 2006  
Building Inspections

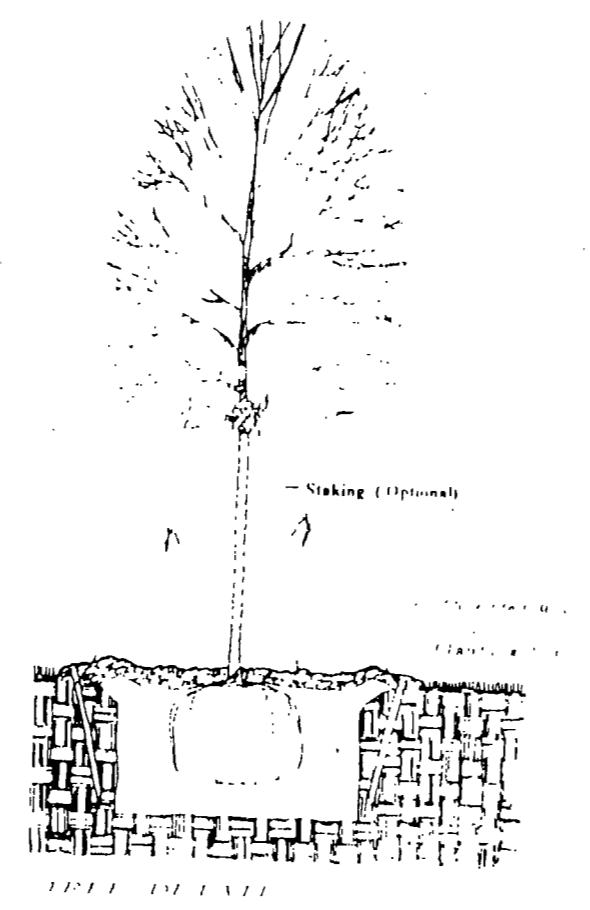
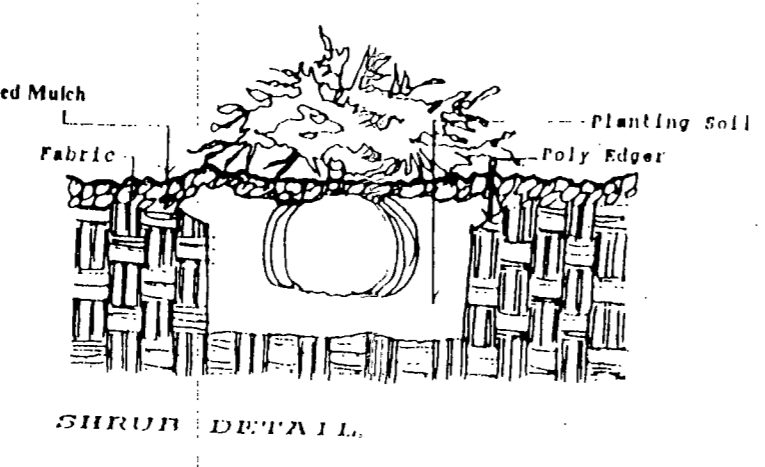
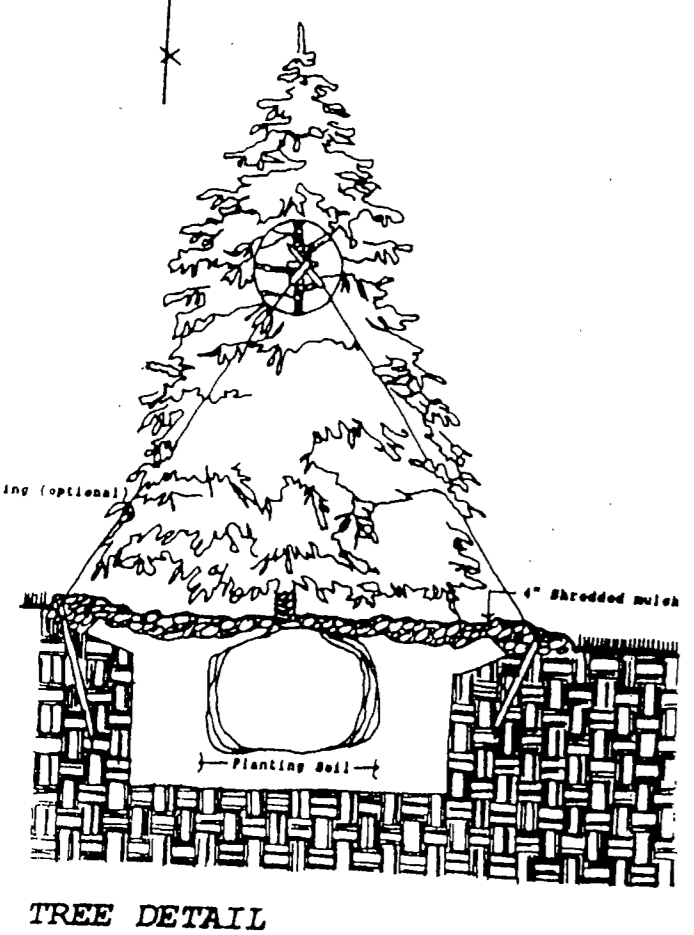


**PLANT SCHEDULE**

KEY	QUAN	MATERIAL	SIZE	TYPE
SS	4	Spring Snow Crab	2"	BB
GL	3	Greenspire Linden	2.5"	BB
FG	5	Fall Gold Ash	2.5"	BB
AB	7	Autumn Blaze Maple	2.5"	BB
BH	3	Black Hill Spruce	6"	BB
AP	3	Austrian Pine	6"	BB
PS	2	Pinkspire Crab	2"	BB
TA	18	Techny Arborvitae	5"	BB
AW	15	Anthony Waterer Spirea	#2	POT
GS	35	Gro-Low Sumac	#2	POT
SG	18	Scandia Juniper	24"	POT
AC	20	Dwf. American Cranberry	24"	POT
SD	43	Stella de Oro Daylily	#1	POT
LP	24	Little Princess Spirea	#2	POT
VH	10	Variegated Hosta	#1	POT

**LANDSCAPE NOTES:**

- Seed disturbed areas unless otherwise noted on plan.
- All plant materials to be guaranteed for one year from date of completion.
- Guying of trees is optional. Contractor is responsible to straighten trees if needed during the guarantee period.
- Wrap applicable trees in fall following planting.
- All shrub beds to receive fabric & 3" Shredded Mulch. With Alternate for Rock
- All trees in sod to be mulched Shredded Mulch @ 3" depth.
- Install Poly Edging where sod abuts planting or maintenance areas.
- All landscaped areas to be irrigated, per City Requirements. Design to be submitted to owner for approval.
- Plants to be installed as per Standard ANN practices

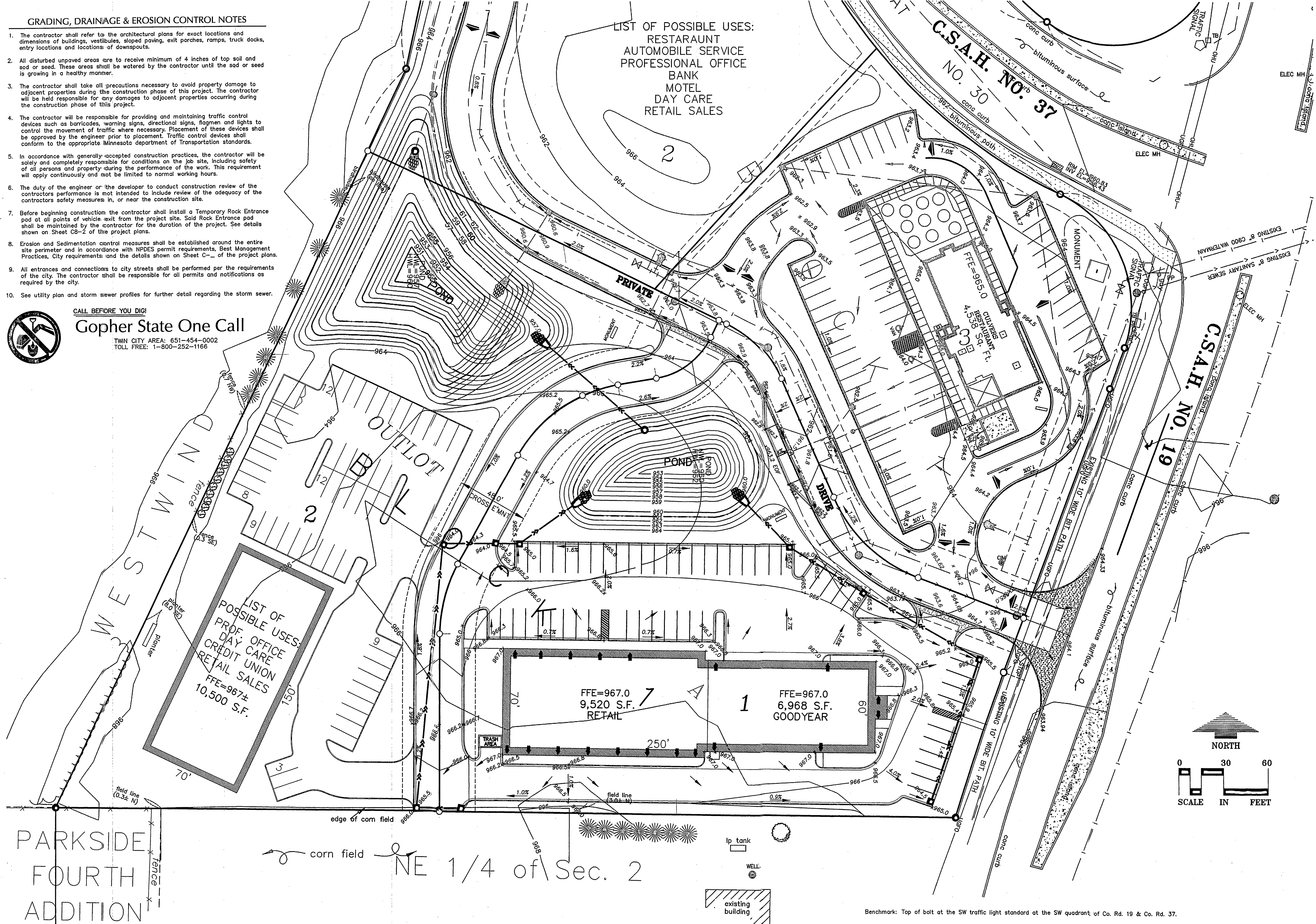


RECEIVED  
JUL 27 2006

**GRADING, DRAINAGE & EROSION CONTROL NOTES**

- The contractor shall refer to the architectural plans for exact locations and dimensions of buildings, vestibules, sloped paving, exit porches, ramps, truck docks, entry locations and locations of downspouts.
- All disturbed unpaved areas are to receive minimum of 4 inches of top soil and sod or seed. These areas shall be watered by the contractor until the sod or seed is growing in a healthy manner.
- The contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phase of this project. The contractor will be held responsible for any damages to adjacent properties occurring during the construction phase of this project.
- The contractor will be responsible for providing and maintaining traffic control devices such as barricades, warning signs, directional signs, flagmen and lights to control the movement of traffic where necessary. Placement of these devices shall be approved by the engineer prior to placement. Traffic control devices shall conform to the appropriate Minnesota department of Transportation standards.
- In accordance with generally accepted construction practices, the contractor will be solely and completely responsible for conditions on the job site, including safety of all persons and property during the performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- The duty of the engineer or the developer to conduct construction review of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures in, or near the construction site.
- Before beginning construction the contractor shall install a Temporary Rock Entrance pad at all points of vehicle exit from the project site. Said Rock Entrance pad shall be maintained by the contractor for the duration of the project. See details shown on Sheet C8-2 of the project plans.
- Erosion and Sedimentation control measures shall be established around the entire site perimeter and in accordance with NPDES permit requirements, Best Management Practices, City requirements and the details shown on Sheet C- of the project plans.
- All entrances and connections to city streets shall be performed per the requirements of the city. The contractor shall be responsible for all permits and notifications as required by the city.
- See utility plan and storm sewer profiles for further detail regarding the storm sewer.

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**Gopher State One Call**  
 TWIN CITY AREA: 651-454-0002  
 TOLL FREE: 1-800-252-1166

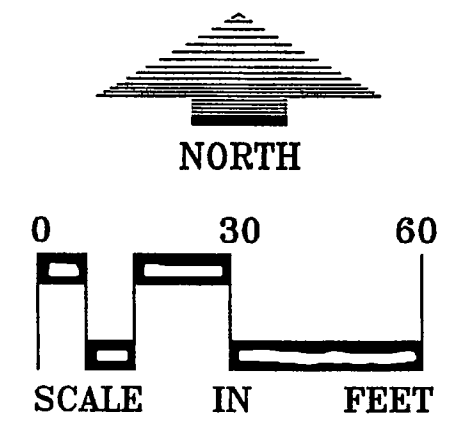
**LIST OF POSSIBLE USES:**  
 RESTAURANT  
 AUTOMOBILE SERVICE  
 PROFESSIONAL OFFICE  
 BANK  
 MOTEL  
 DAY CARE  
 RETAIL SALES

**LIST OF POSSIBLE USES:**  
 PROF. OFFICE  
 DAY CARE  
 CREDIT UNION  
 RETAIL SALES  
 FFE=967±  
 10,500 S.F.

FFE=967.0  
 9,520 S.F.  
 RETAIL

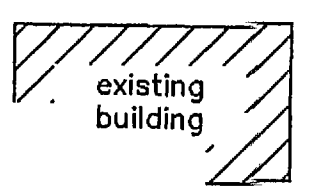
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FFE=967.0  
 6,968 S.F.  
 GOODYEAR



PARKSIDE  
 FOURTH  
 ADDITION

NE 1/4 of Sec. 2



Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.

**ALBERTVILLE  
 PLAZA 2ND  
 ADDITION**

**CITY OF**



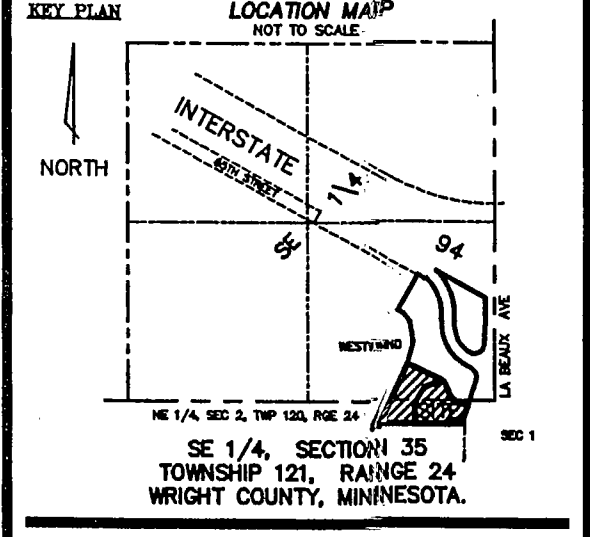
**MINNESOTA**

**ORDER  
 ALBERTVILLE PLAZA LLC**

75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5635  
 FAX (651) 484-5701

**DEVELOPER  
 RJ MARCO CONSTRUCTION, INC.**

75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5635  
 FAX (651) 484-5701



**SHEET INDEX**

SHEET	TITLE
CO-1	TITLE SHEET
CI-1	EXISTING CONDITIONS
CO-1	SITE PLAN
CO-3	GRADING, DRAINAGE PLAN
CO-4	UTILITY PLAN
CO-5	STORM WATER POLLUTION PREVENTION PLAN
CO-1	PRELIMINARY PLAN
CO-1	DETAIL SHEET
CO-2	DETAIL SHEET

**QUALITY MANAGEMENT REVIEW**

44613 License No. 7-25-06 Date

Jonathan J. Donovan - PE

DATE	REVISION
6-30-06	CITY SUBMITTAL
7-19-06	CITY COMMENTS

QUALITY MANAGEMENT REVIEW

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**Loucks  
 ASSOCIATES**

Planning • Civil Engineering • Land Surveying  
 Environmental • Archeology

2000 Mendota Lane, Suite 200, Minneapolis, Minnesota 55405-0202  
 Telephone: (612) 424-0200 Fax: (763) 424-0202  
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**GRADING & DRAINAGE PLAN**

PROJECT NO.  
 99-190F

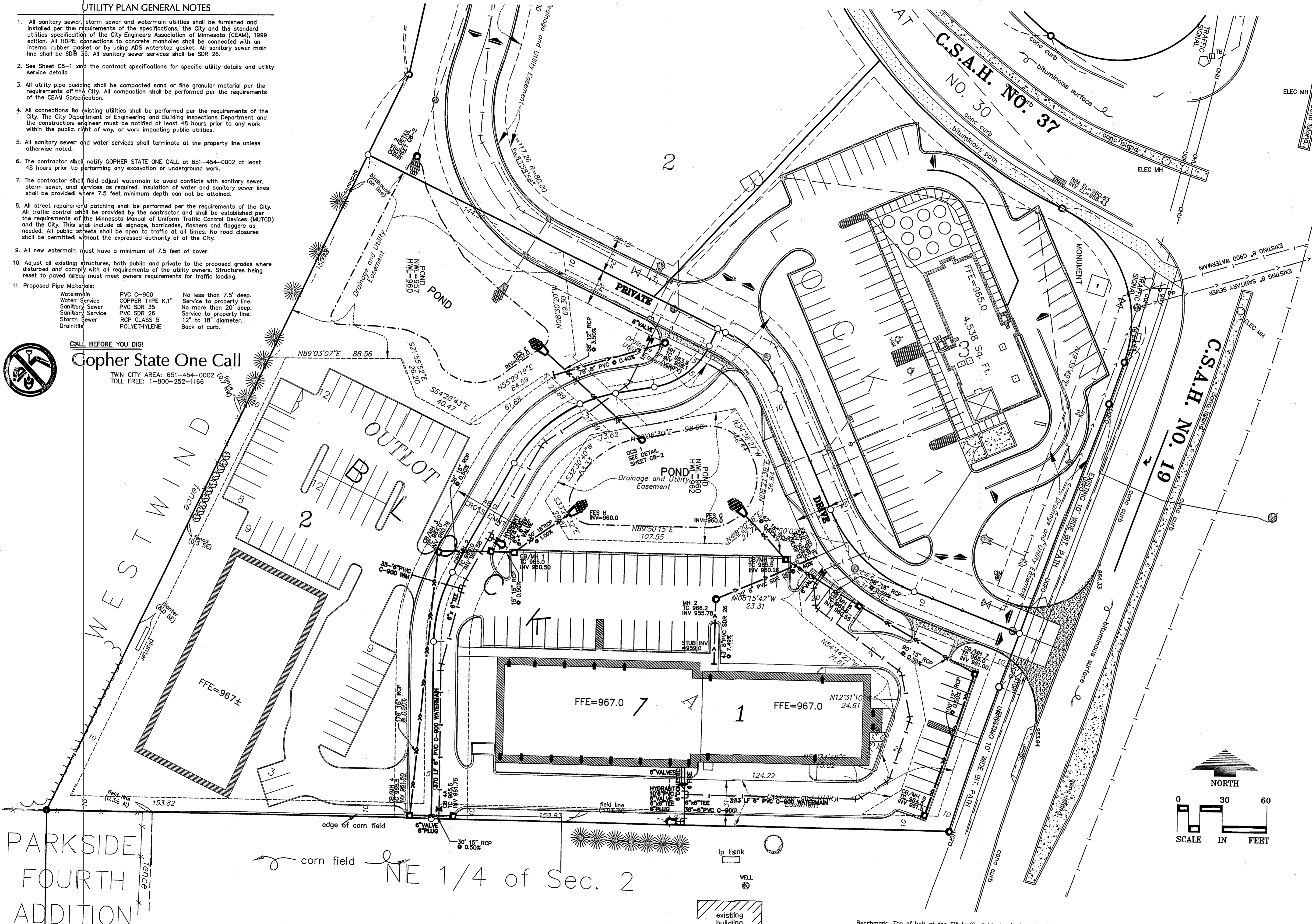
**C3-1**

UTILITY PLAN GENERAL NOTES

- All sanitary sewer, storm sewer and watermain utilities shall be furnished and installed per the requirements of the specifications, the City and the standard utilities specification of the City Engineers Association of Minnesota (CEAM), 1999 edition. All HDPE connections to concrete manholes shall be connected with an internal rubber gasket or by using ADS waterstop gasket. All sanitary sewer main line shall be SDR 35. All sanitary sewer services shall be SDR 26.
- See Sheet C8-1 and the contract specifications for specific utility details and utility service details.
- All utility pipe bedding shall be compacted sand or fine granular material per the requirements of the City. All compaction shall be performed per the requirements of the CEAM Specification.
- All connections to existing utilities shall be performed per the requirements of the City. The City Department of Engineering and Building Inspections Department and the construction engineer must be notified at least 48 hours prior to any work within the public right of way, or work impacting public utilities.
- All sanitary sewer and water services shall terminate at the property line unless otherwise noted.
- The contractor shall notify GOPHER STATE ONE CALL at 651-454-0002 at least 48 hours prior to performing any excavation or underground work.
- The contractor shall field adjust watermain to avoid conflicts with sanitary sewer, storm sewer, and services as required. Insulation of water and sanitary sewer lines shall be provided where 7.5 feet minimum depth can not be attained.
- All street repairs and patching shall be performed per the requirements of the City. All traffic control shall be provided by the contractor and shall be established per the requirements of the Minnesota Manual of Uniform Traffic Control Devices (MUTCD) and the City. This shall include all signage, barricades, flashers and flaggers as needed. All public streets shall be open to traffic at all times. No road closures shall be permitted without the expressed authority of the City.
- All new watermain must have a minimum of 7.5 feet of cover.
- Adjust all existing structures, both public and private to the proposed grades where disturbed and comply with all requirements of the utility owners. Structures being reset to paved areas must meet owners requirements for traffic loading.
- Proposed Pipe Materials:
 

Watermain	PVC C-900	No less than 7.5' deep.
Water Service	COPPER TYPE K, 1"	Service to property line.
Sanitary Sewer	PVC SDR 35	No more than 20' deep.
Sanitary Service	PVC SDR 26	Service to property line.
Storm Sewer	RCP CLASS 5	12" to 18" diameter.
Drainage	POLYETHYLENE	Back of curb.

**CALL BEFORE YOU DIG!**  
**Gopher State One Call**  
 TWIN CITY AREA: 651-454-0002  
 TOLL FREE: 1-800-252-1166



**ALBERTVILLE PLAZA 2ND ADDITION**

---

**CITY OF**

**MINNESOTA**

**OWNER**  
 ALBERTVILLE PLAZA LLC

76 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5685  
 FAX (651) 484-5701

**DEVELOPER**  
 RJ MARCO CONSTRUCTION INC.

76 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5685  
 FAX (651) 484-5701

**KEY PLAN**      **LOCATION MAP**  
NOT TO SCALE

INTERSTATE  
 SE 1/4, SECTION 35  
 TOWNSHIP 121, RANGE 24  
 WRIGHT COUNTY, MINNESOTA

**SHEET INDEX**

SHEET	TITLE
CB-1	TITLE SHEET
CI-1	EXISTING CONDITIONS
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CS-1	GRADING, DRAINAGE PLAN
CU-1	UTILITY PLAN
CU-1	STORM WATER POLLUTION PREVENTION PLAN
CU-1	PRELIMINARY PLAT
CU-1	DETAIL SHEET
CU-2	DETAIL SHEET

CADD FILE QUALIFICATION:  
 CADD files prepared by the Engineer/Surveyor for this project are the responsibility of the Engineer/Surveyor and are not to be used for any other project. These CADD files shall not be used on other projects for additions to the project by the Engineer/Surveyor. The User/Client/Owner's approval of these files for use on other projects is not a warranty of any kind. The Engineer/Surveyor shall not be held responsible for any errors, omissions, or additions to the CADD files or for any other consequences of the use of these files. The User/Client/Owner shall be responsible for any errors, omissions, or additions to the CADD files and for any other consequences of the use of these files.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE  
 License No. 44613      Date 7-25-06

DATE	REVISION
8-30-06	CITY SUBMITTAL
7-19-06	CITY COMMENTS

**QUALITY MANAGEMENT REVIEW**

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

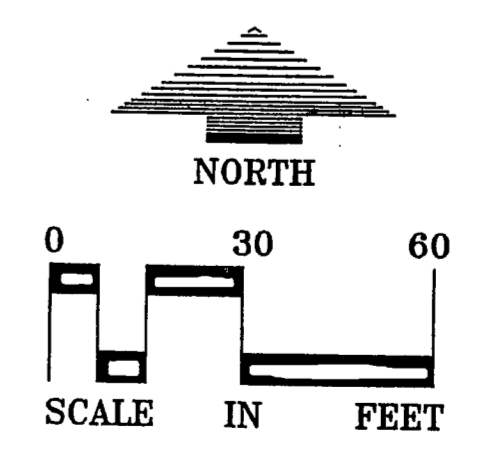
**Loucks Associates**

Planning • Civil Engineering • Land Surveying  
 Environmental • Architecture

7700 Bankers Loan, Suite 300, Minneapolis, Minnesota 55426-5602  
 Telephone: (763) 421-1000 Fax: (763) 421-1022  
 Web Page: loucksassociates.com

UTILITY PLAN

PROJECT NO. 99-190F	C4-1
------------------------	------



PARKSIDE  
 FOURTH  
 ADDITION

NE 1/4 of Sec. 2

Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.

**GRADING & EROSION CONTROL NOTES:**

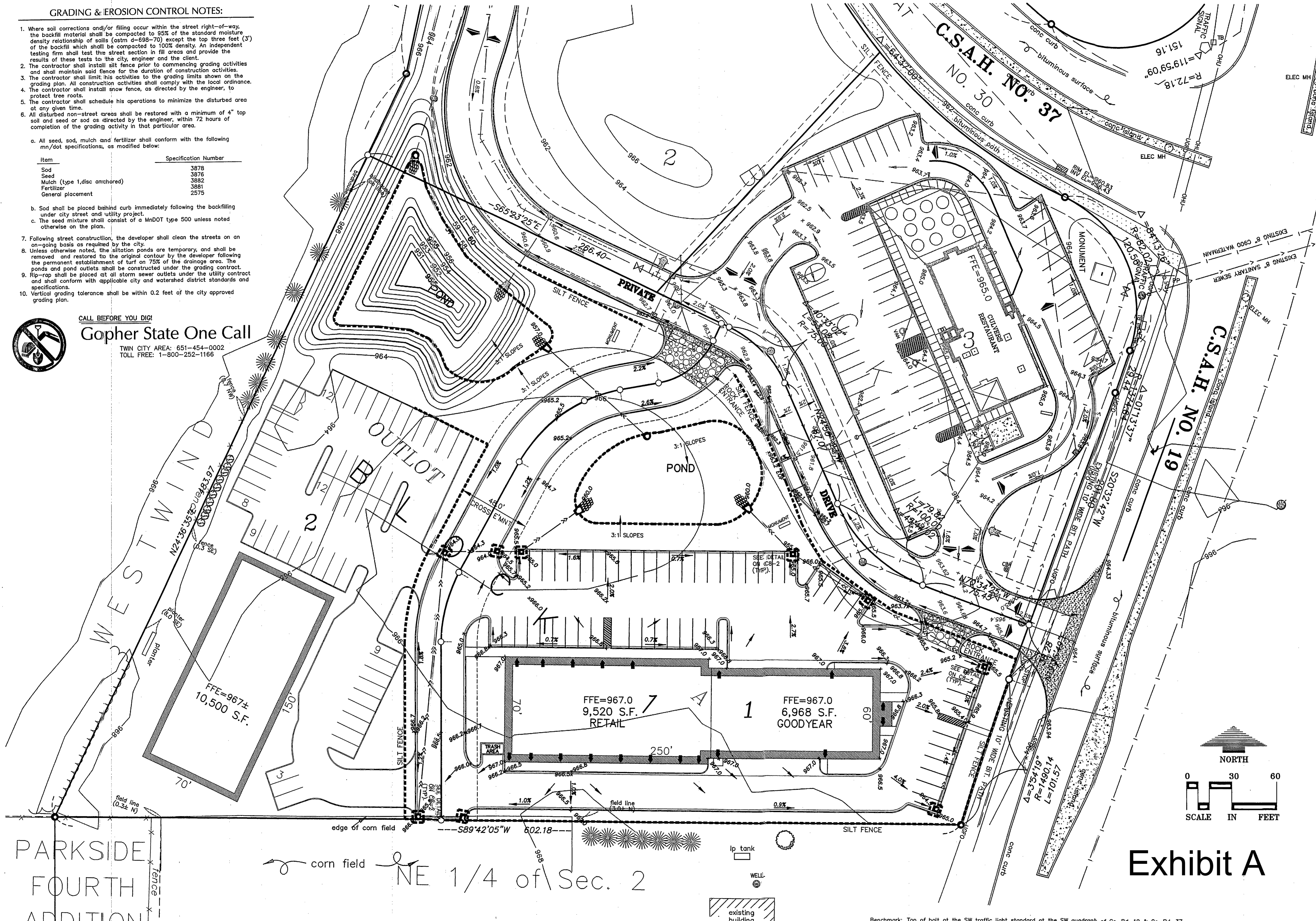
- Where soil corrections and/or filling occur within the street right-of-way, the backfill material shall be compacted to 95% of the standard moisture density relationship of soils (astm d-698-70) except the top three feet (3') of the backfill which shall be compacted to 100% density. An independent testing firm shall test the street section in fill areas and provide the results of these tests to the city, engineer and the client.
- The contractor shall install silt fence prior to commencing grading activities and shall maintain said fence for the duration of construction activities.
- The contractor shall limit his activities to the grading limits shown on the grading plan. All construction activities shall comply with the local ordinance.
- The contractor shall install snow fence, as directed by the engineer, to protect tree roots.
- The contractor shall schedule his operations to minimize the disturbed area at any given time.
- All disturbed non-street areas shall be restored with a minimum of 4" top soil and seed or sod as directed by the engineer, within 72 hours of completion of the grading activity in that particular area.
  - All seed, sod, mulch and fertilizer shall conform with the following mn/dot specifications, as modified below:
 

Item	Specification Number
Sod	3878
Seed	3876
Mulch (type 1, disc anchored)	3882
Fertilizer	3881
General placement	2575
  - Sod shall be placed behind curb immediately following the backfilling under city street and utility project.
  - The seed mixture shall consist of a MnDOT type 500 unless noted otherwise on the plan.
- Following street construction, the developer shall clean the streets on an on-going basis as required by the city.
- Unless otherwise noted, the siltation ponds are temporary, and shall be removed and restored to the original contour by the developer following the permanent establishment of turf on 75% of the drainage area. The ponds and pond outlets shall be constructed under the grading contract.
- Rip-rap shall be placed at all storm sewer outlets under the utility contract and shall conform with applicable city and watershed district standards and specifications.
- Vertical grading tolerance shall be within 0.2 feet of the city approved grading plan.

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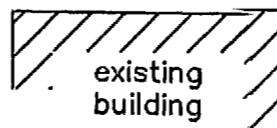
**Gopher State One Call**

TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

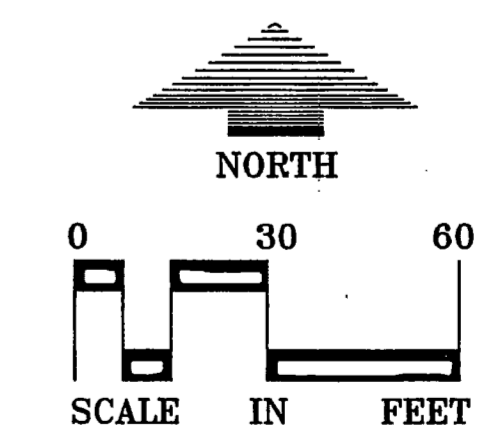


PARKSIDE  
FOURTH  
ADDITION

corn field  
NE 1/4 of Sec. 2



Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.



**Exhibit A**

**ALBERTVILLE  
PLAZA 2ND  
ADDITION**

---

**CITY OF**

**MINNESOTA**

---

**OWNER:**  
**ALBERTVILLE PLAZA LLC**

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-6835  
FAX (651) 484-5701

---

**DEVELOPER:**  
**RJ MARCO CONSTRUCTION, INC.**

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-6835  
FAX (651) 484-5701

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**KEY PLAN**      **LOCATION MAP**  
NOT TO SCALE

SE 1/4, SECTION 35  
TOWNSHIP 121, RANGE 24  
WRIGHT COUNTY, MINNESOTA.

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CO-1	GRADING, DRAINAGE PLAN
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CO-1	STORM WATER POLLUTION PREVENTION PLAN
CO-1	PRELIMINARY PLAN
CO-1	DETAIL SHEET
CO-2	DETAIL SHEET

---

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---

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Dironovani - PE  
License No. 44613      Date 7-25-06

---

DATE	REVISION
8-30-06	CITY SUBMITTAL
7-18-06	CITY COMMENTS

---

**QUALITY MANAGEMENT REVIEW:** \_\_\_\_\_ DATE: \_\_\_\_\_

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**LOUCKS  
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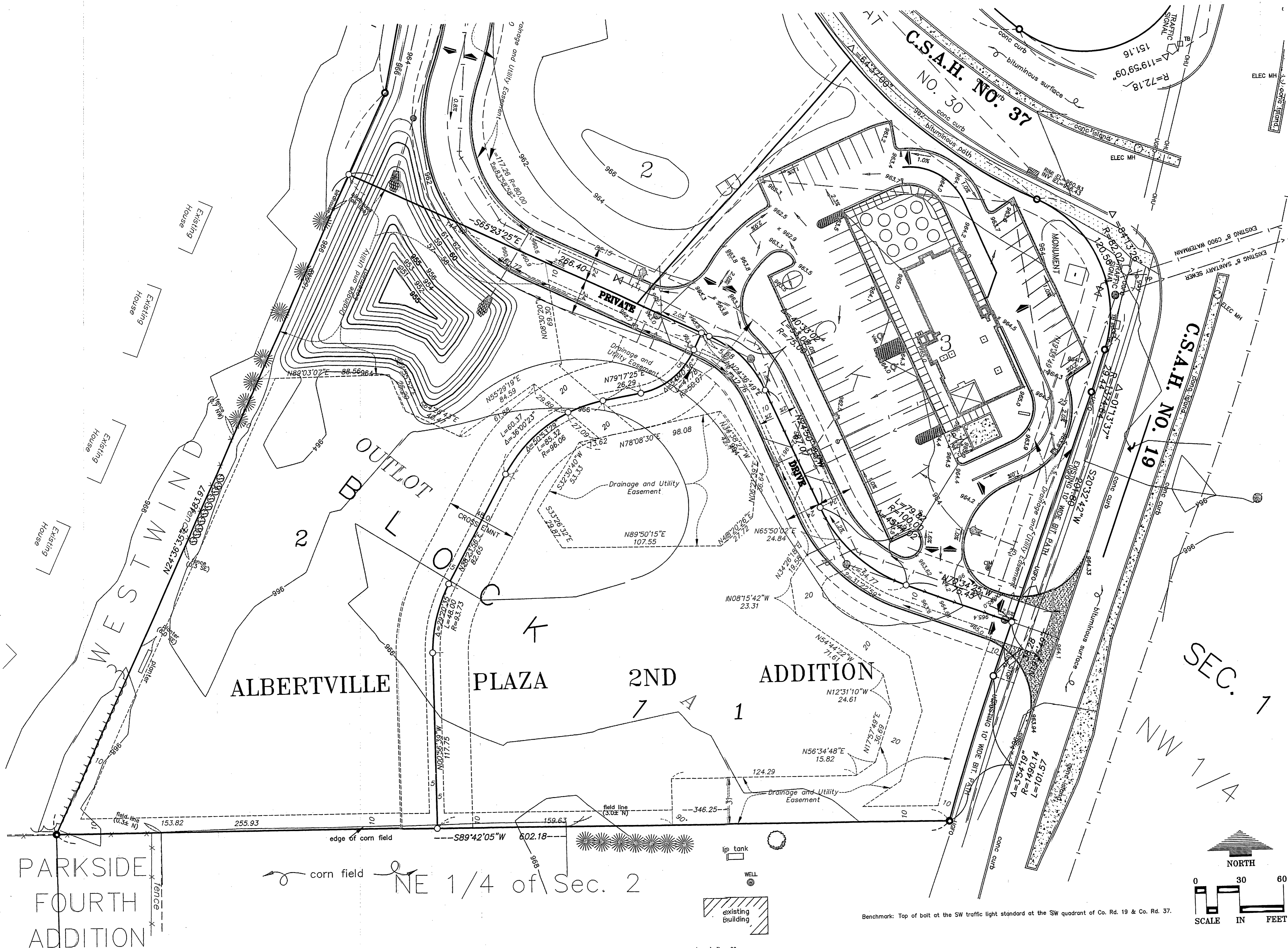
7200 Bankers Loan Bldg 200 Minneapolis, Minnesota 55408-5622  
Telephone: (612) 432-0200 Fax: (612) 432-0222  
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**STORM WATER POLLUTION  
PREVENTION PLAN**

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<b>PROJECT NO.</b> 99-190F	<b>C5-1</b>
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**ALBERTVILLE  
PLAZA 2ND  
ADDITION**

**CITY OF**



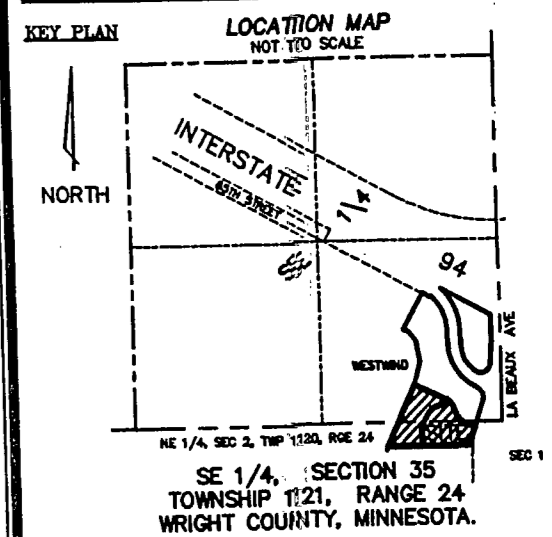
**MINNESOTA**

**OWNER**  
**ALBERTVILLE PLAZA LLC**

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-5835  
FAX (651) 484-5701

**DESIGNER**  
**RJ MARCO CONSTRUCTION, INC.**

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-5835  
FAX (651) 484-5701



**SHEET INDEX**

SHEET	TITLE
CO-1	TITLE SHEET
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CO-2	DETAIL SHEET

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE  
License No. 44613 Date 7-25-06

DATE	REVISION
6-30-08	CITY SUBMITTAL
7-19-08	CITY COMMENTS

QUALITY MANAGEMENT REVIEW: BY: DATE:

**LOUCKS ASSOCIATES**

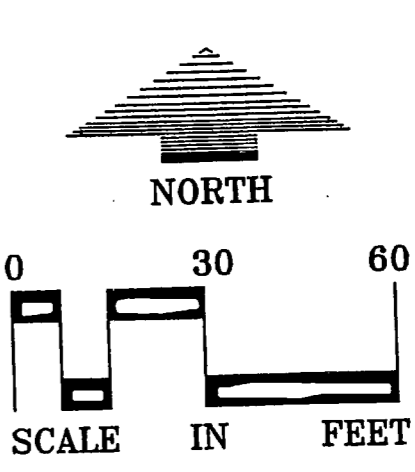
Planning • Civil Engineering • Land Surveying  
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220 Birch Lake Drive, Little Canada, Minnesota 55120-5202  
Telephone: (763) 434-0202 Fax: (763) 434-0202  
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**PRELIMINARY PLAN**

PROJECT NO. 99-190F	C6-1
------------------------	------

PARKSIDE  
FOURTH  
ADDITION

corn field NE 1/4 of Sec. 2



Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.

**ALBERTVILLE  
PLAZA**

**CITY OF**



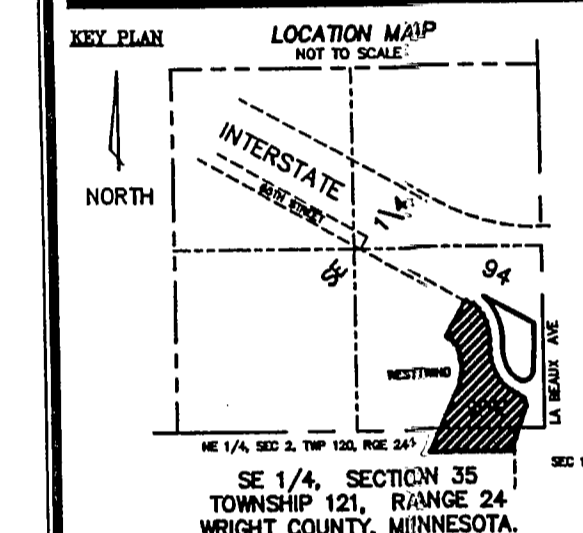
**MINNESOTA**

**ALBERTVILLE PLAZA LLC**

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-5635  
FAX (651) 484-5701

**RJ MARCO CONSTRUCTION, INC.**

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-5635  
FAX (651) 484-5701



**SHEET INDEX**

SHEET	TITLE
00-1	TITLE SHEET
01-1	EXISTING CONDITIONS PLAN
02-1	MASTER SITE PLAN-ALBERTVILLE PLAZA
02-2	SITE PLAN-MULTI-TENANT BUILDING
02-3	SITE PLAN-CULVERTS BUILDING
03-1	MASTERS GRADING & EROSION CONTROL PLAN
03-2	GRADING PLAN-MULTI TENANT BUILDING
03-3	GRADING PLAN-CULVERTS BUILDING
04-1	UTILITY PLAN
03-1	DETAIL SHEET
03-2	DETAIL SHEET
11-1	LANDSCAPE PLAN

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.  
Reg. No. 44613 Date 7-25-06

DATE	REVISION

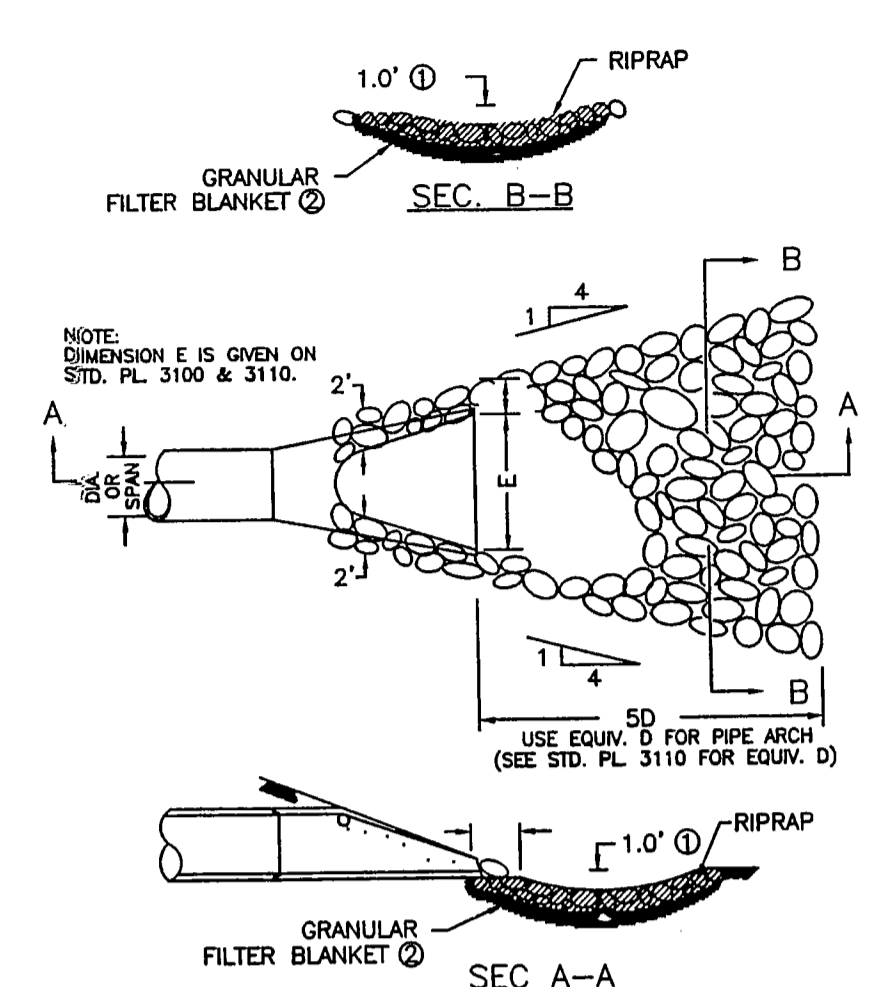
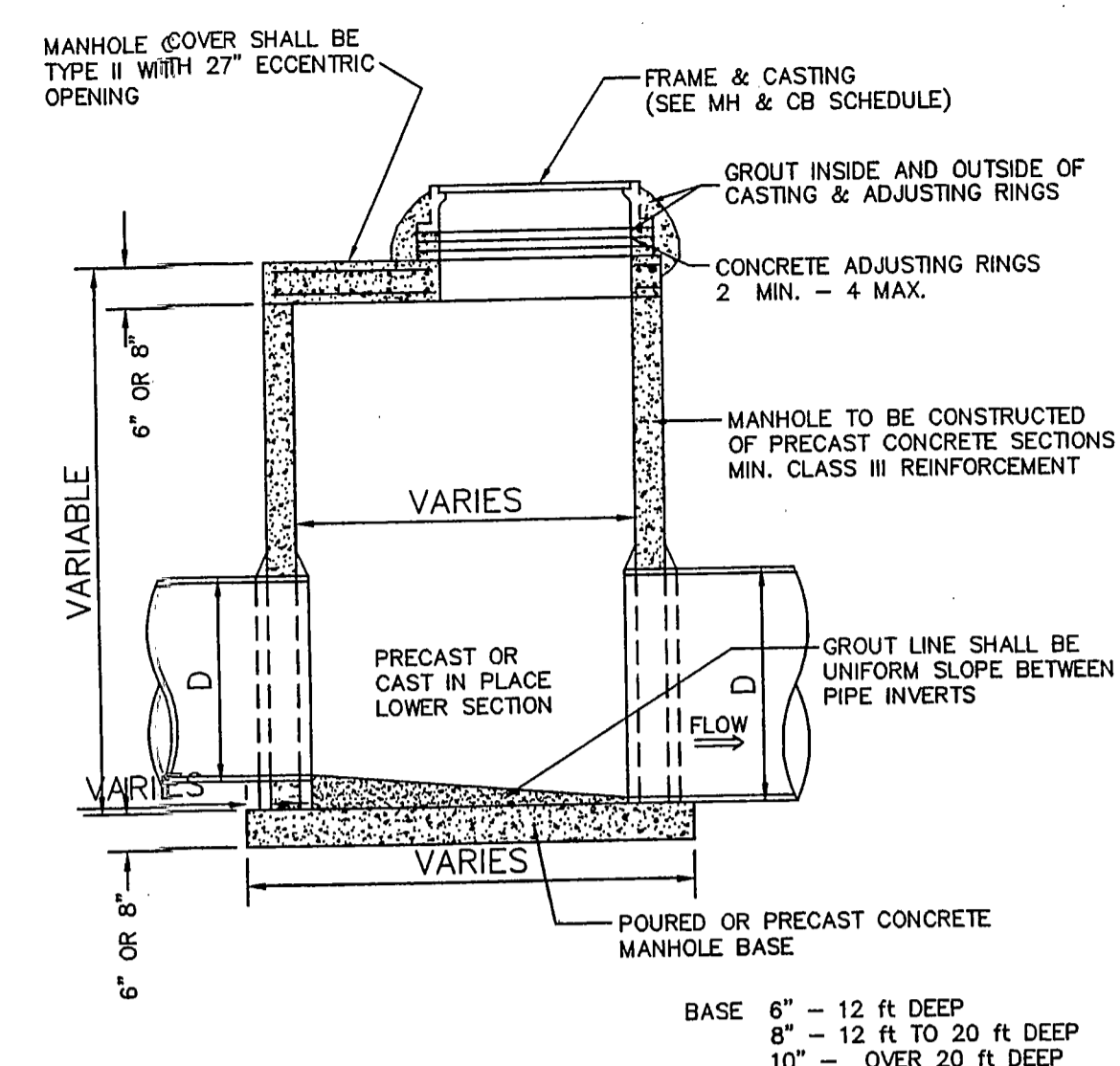
**QUALITY MANAGEMENT REVIEW:** \_\_\_\_\_ DATE: \_\_\_\_\_

**Loucks Associates**

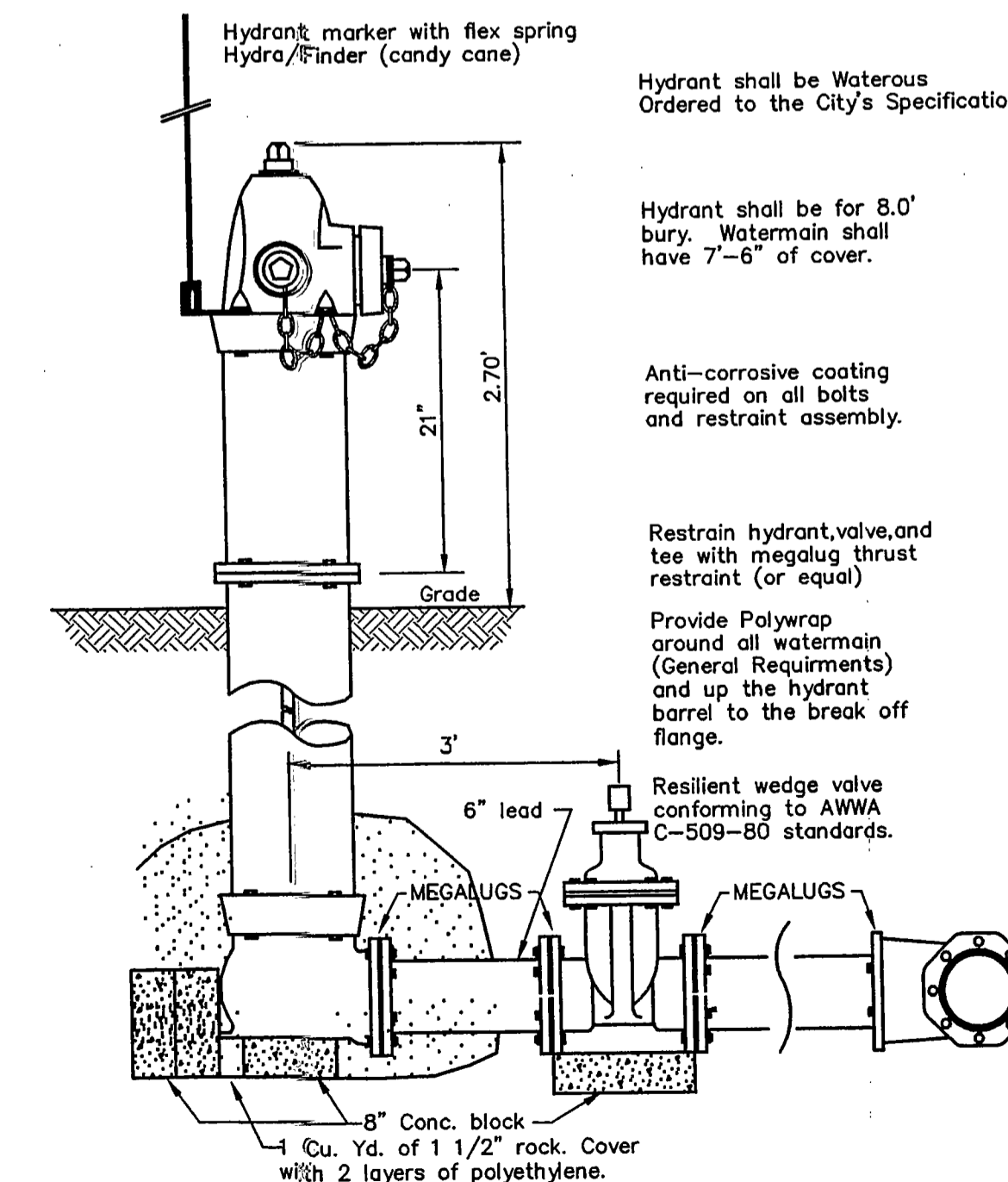
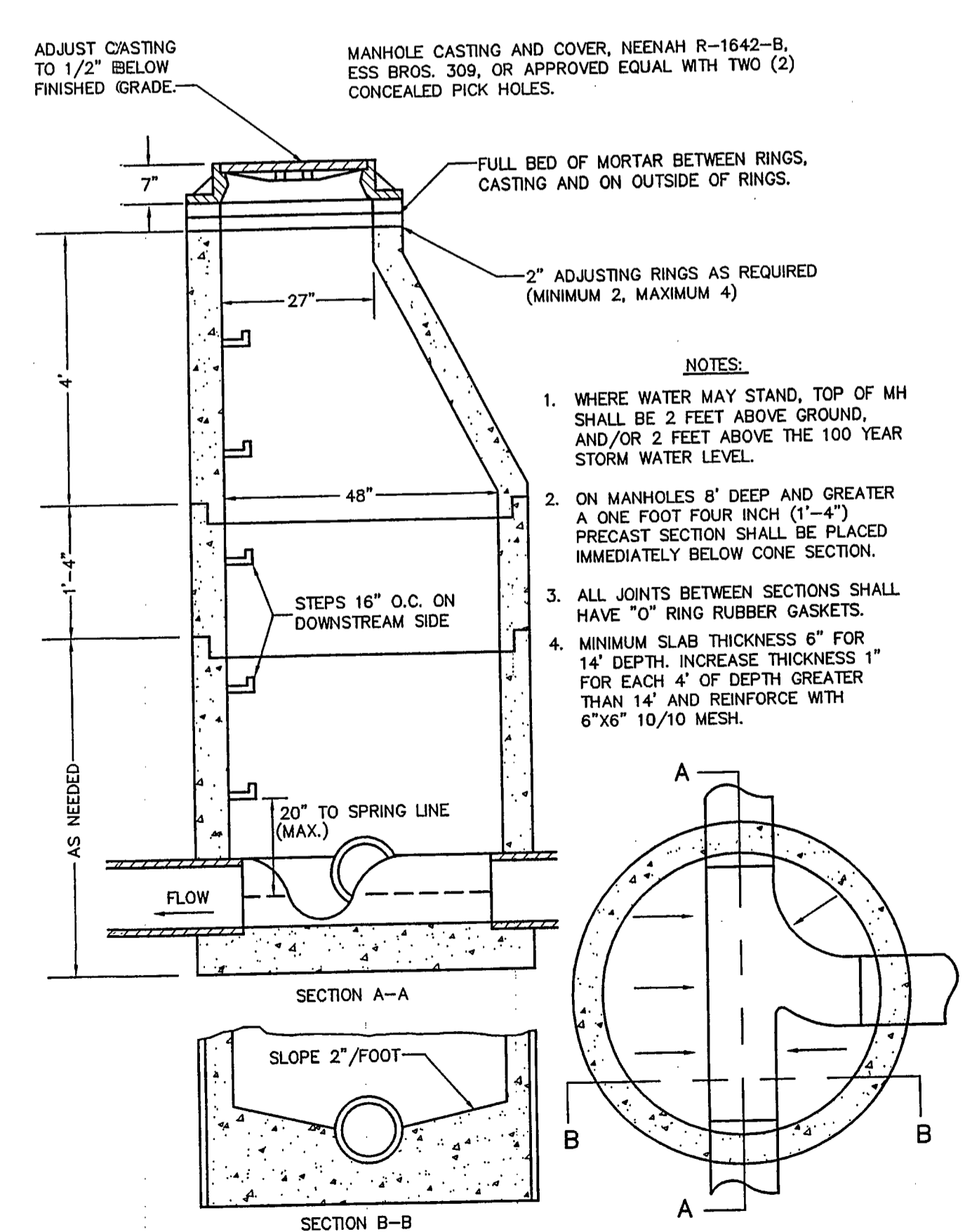
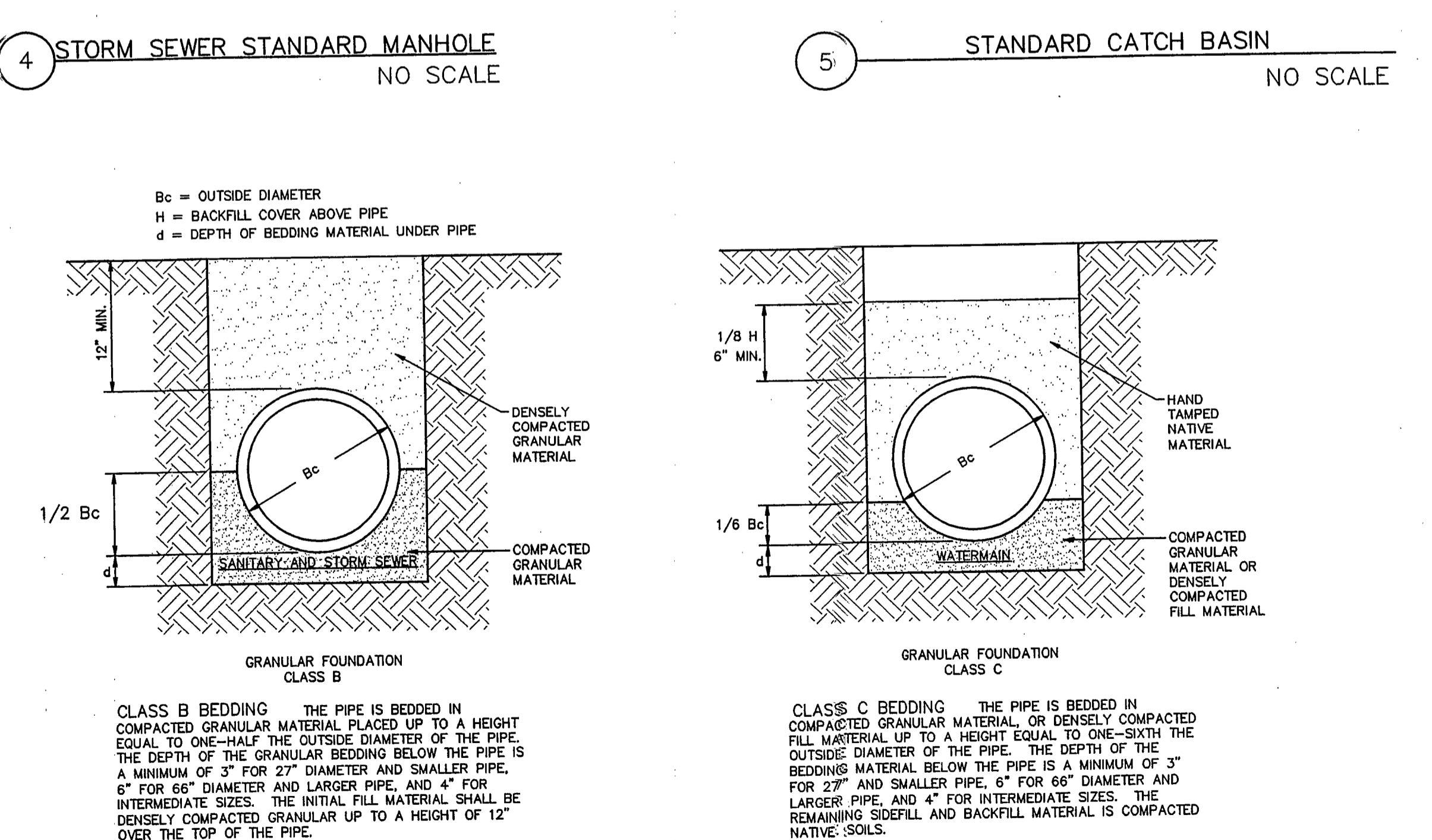
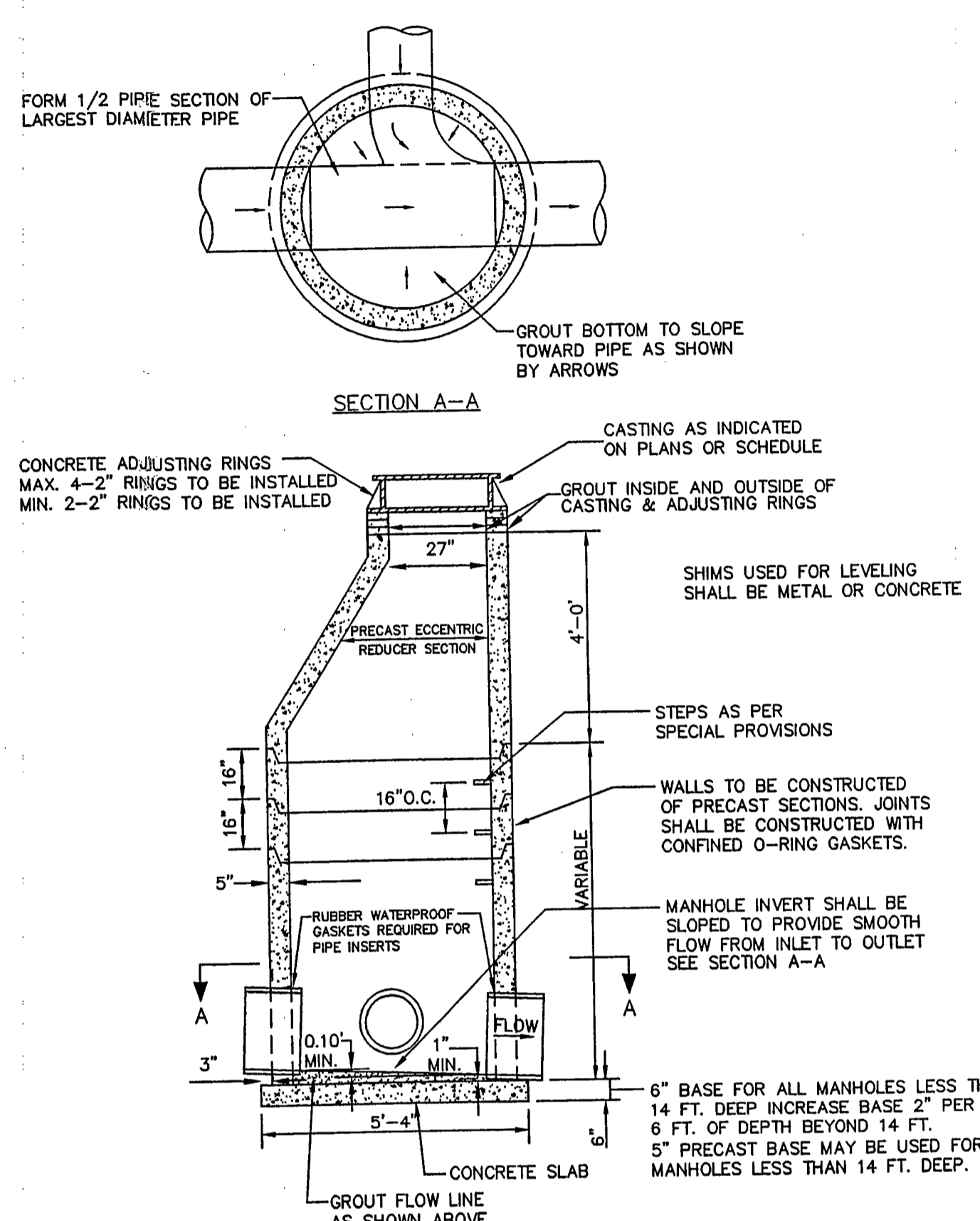
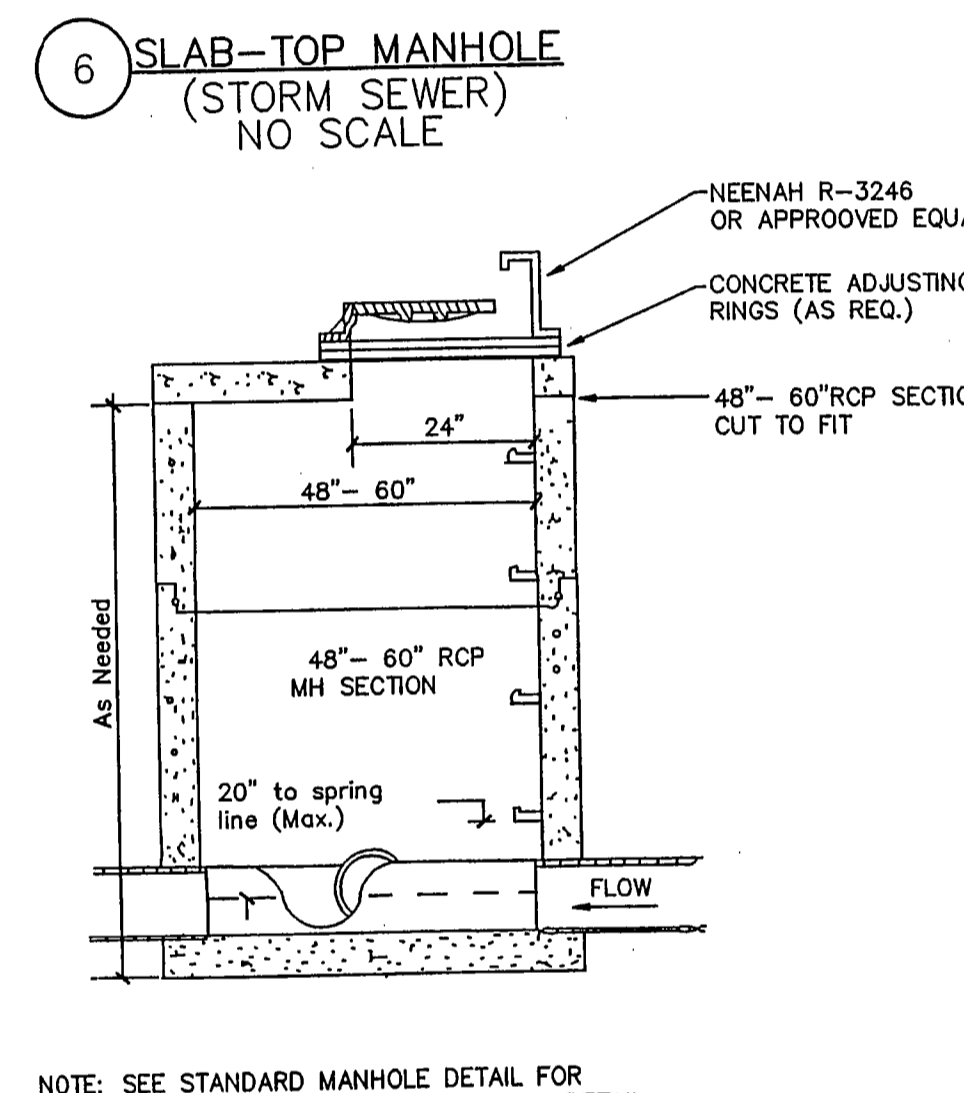
Planning • Civil Engineering • Land Surveying  
Environmental • Archeology  
7200 Belmont Lane, Suite 200, Minneapolis, Minnesota 55425-5202  
Telephone: (612) 835-2000 Fax: (612) 835-2022  
© 2000 Web Page: loucksassoc.com

**DETAIL SHEET**

PROJECT NO. 99190 **C8-1**

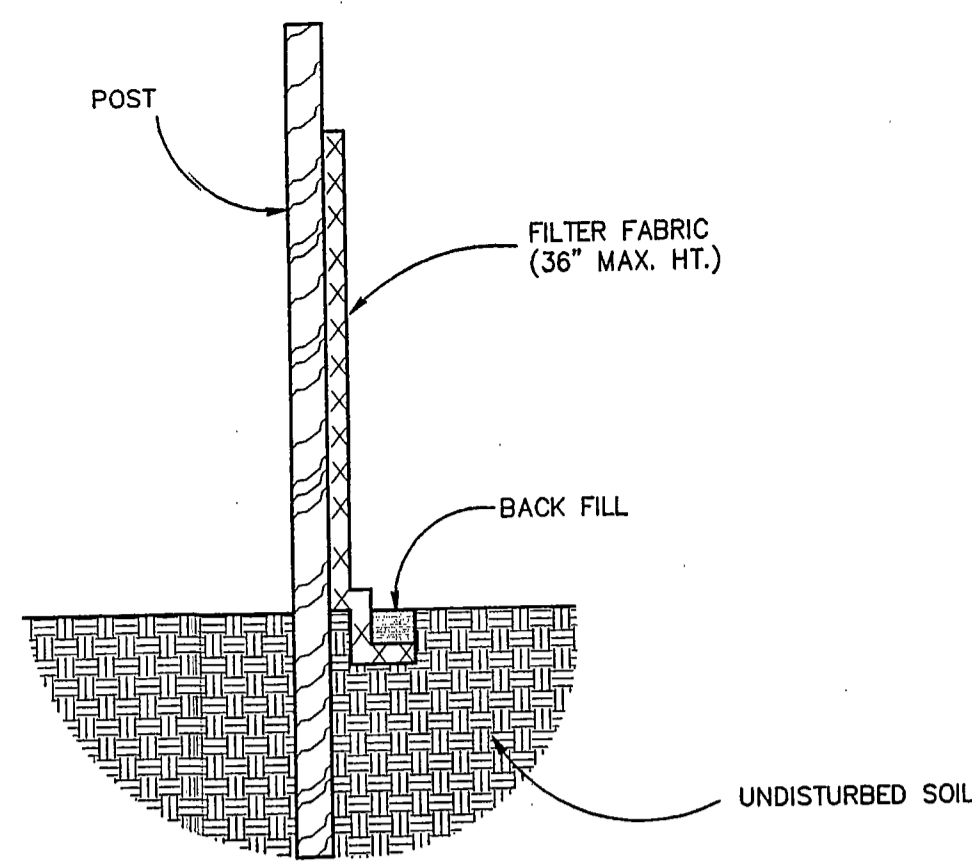


- ① FOR PIPES GREATER THAN OR EQUAL TO 48", USE 2.0'
- ② THE CONTRACTOR MAY SUBSTITUTE A GEOTEXTILE FABRIC, SPEC. 3601 FOR THE GRANULAR FILTER BLANKET UNLESS OTHERWISE SPECIFIED IN THE PLANS. THE FABRIC SHOULD COVER THE AREA OF THE RIPRAP AND EXTEND UNDER THE CULVERT APRON 3 FEET.
- ③ QUANTITIES AS PER MNDOT STANDARD PLATE



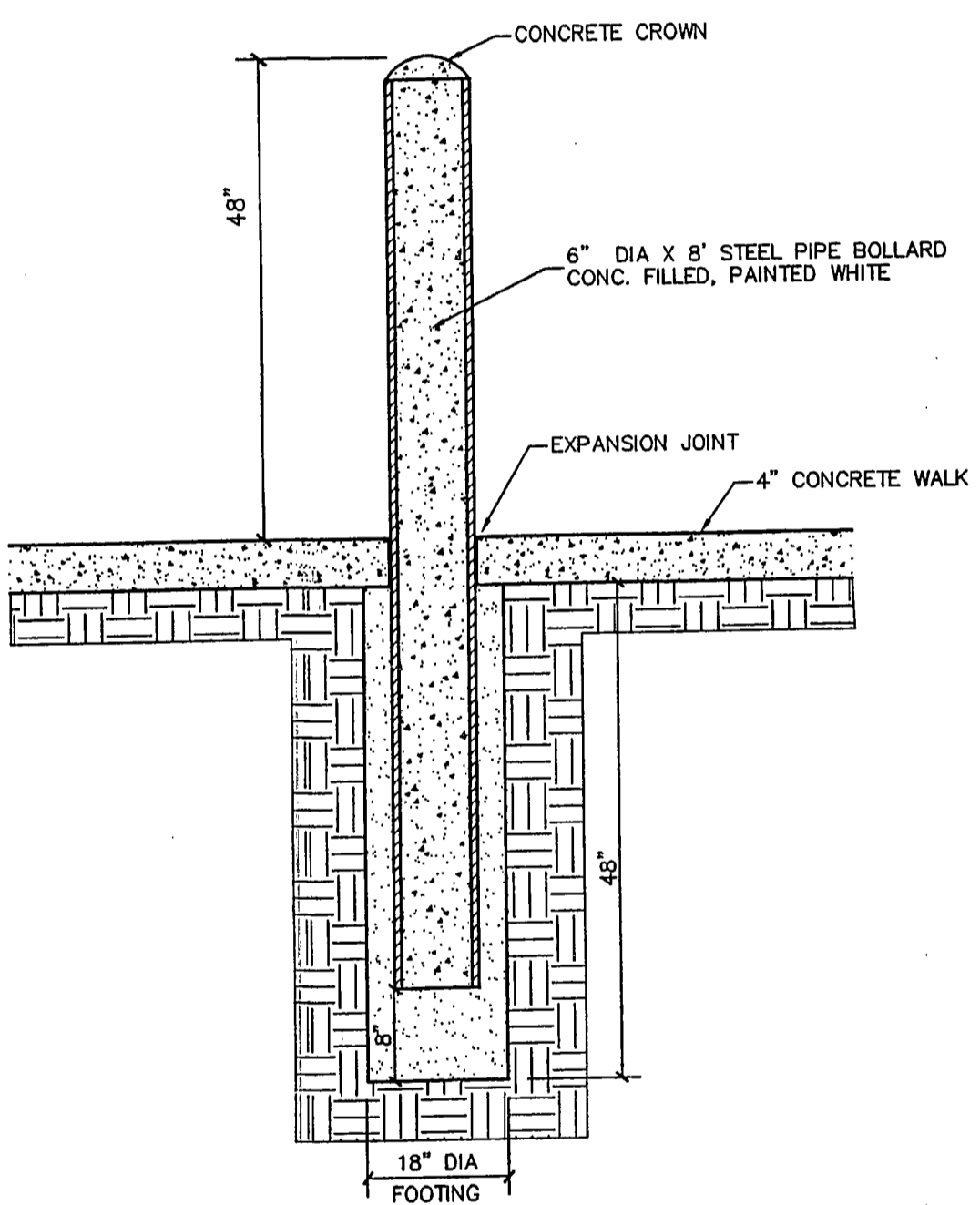
② PIPE BEDDING NO SCALE

① VALVE AND HYDRANT INSTALLATION NO SCALE

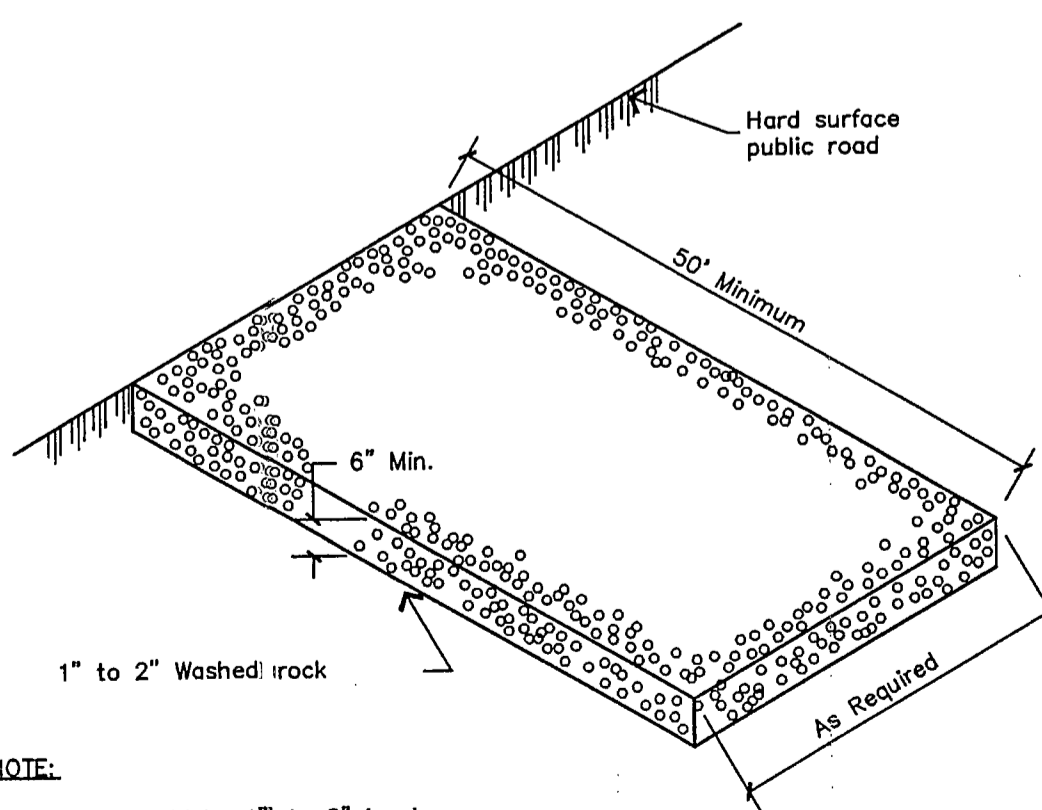


**NOTES:**  
 1. DIG A 6" TRENCH ALONG THE INTENDED FENCE LINE  
 2. DRIVE ALL POSTS INTO THE GROUND AT THE BACK SIDE OF THE TRENCH  
 3. WHERE DIRECTED, INSTALL WIRE FENCING PER HENNINGEN COUNTY CONSERVATION DISTRICT EROSION AND SEDIMENT CONTROL MANUAL. WIRE MESH MUST BE MINIMUM OF 2" INTO THE GROUND AND NO MORE THAN 36" ABOVE THE ORIGINAL  
 4. GRADE SURFACE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACK FILL.

5 SILT FENCE DETAIL NO SCALE

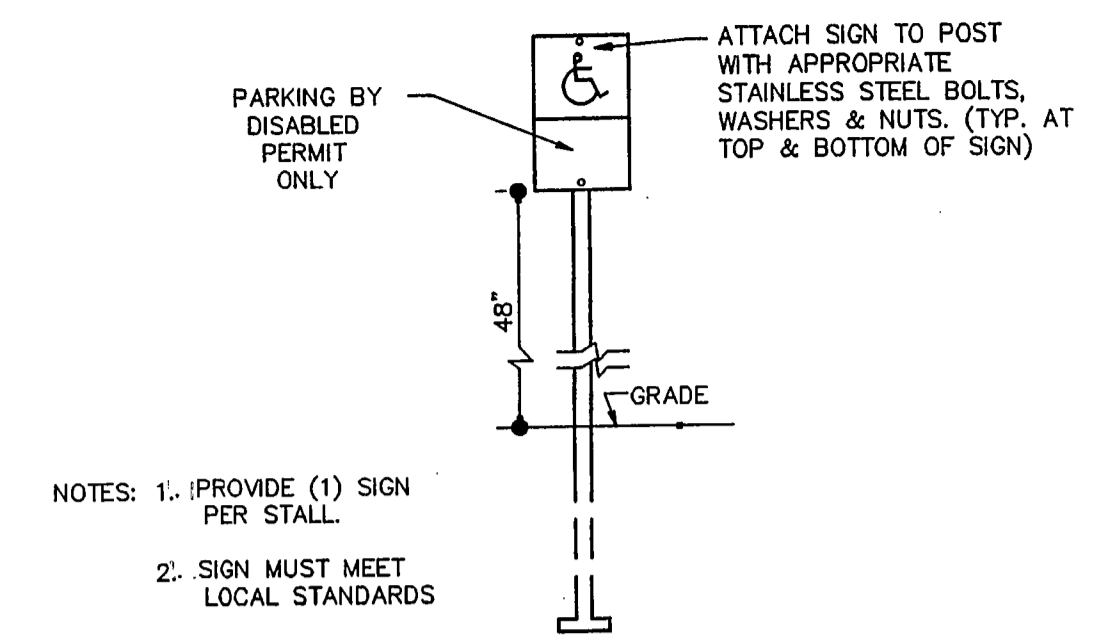
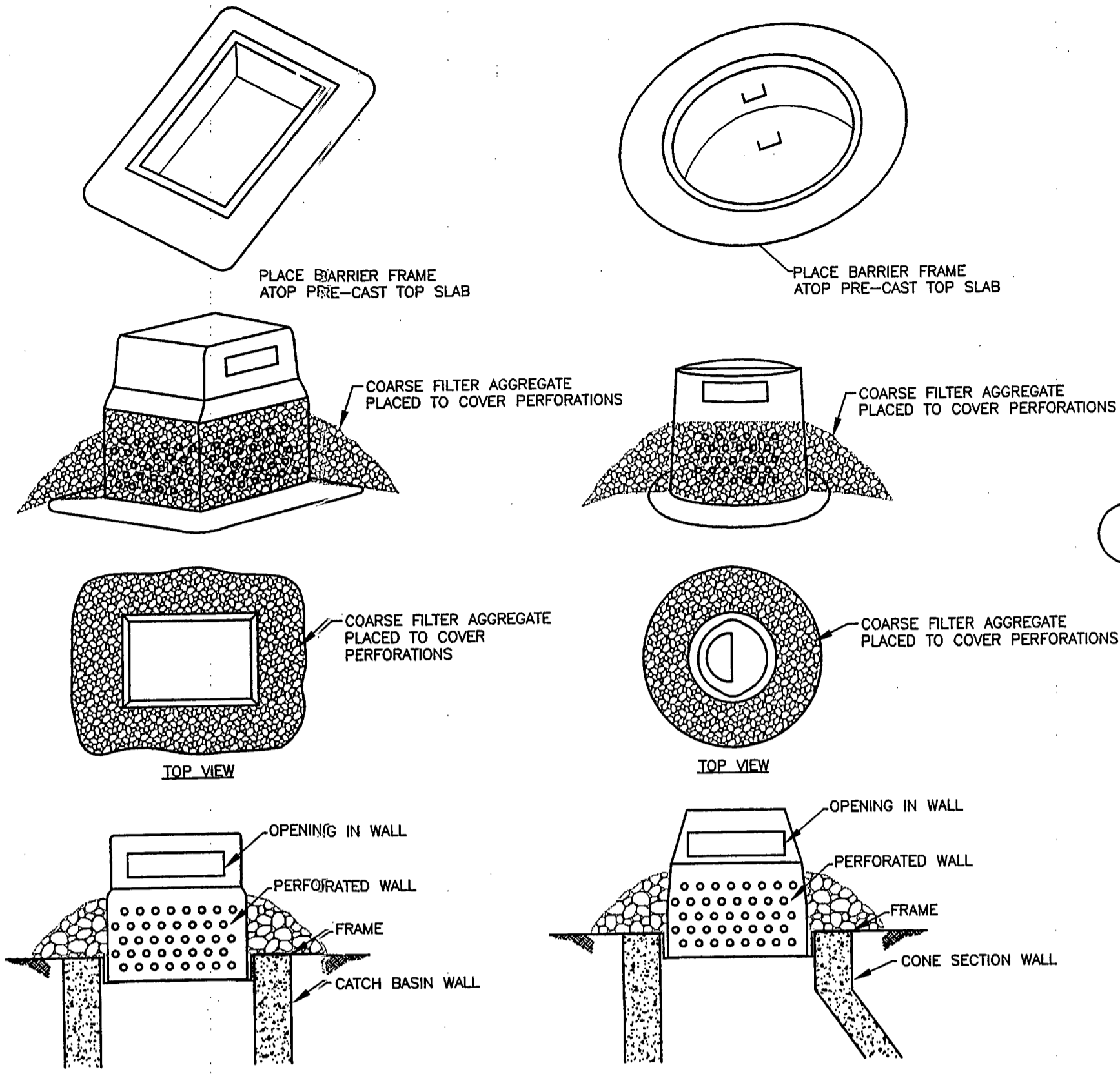


4 ROUND PIPE BOLLARD NO SCALE

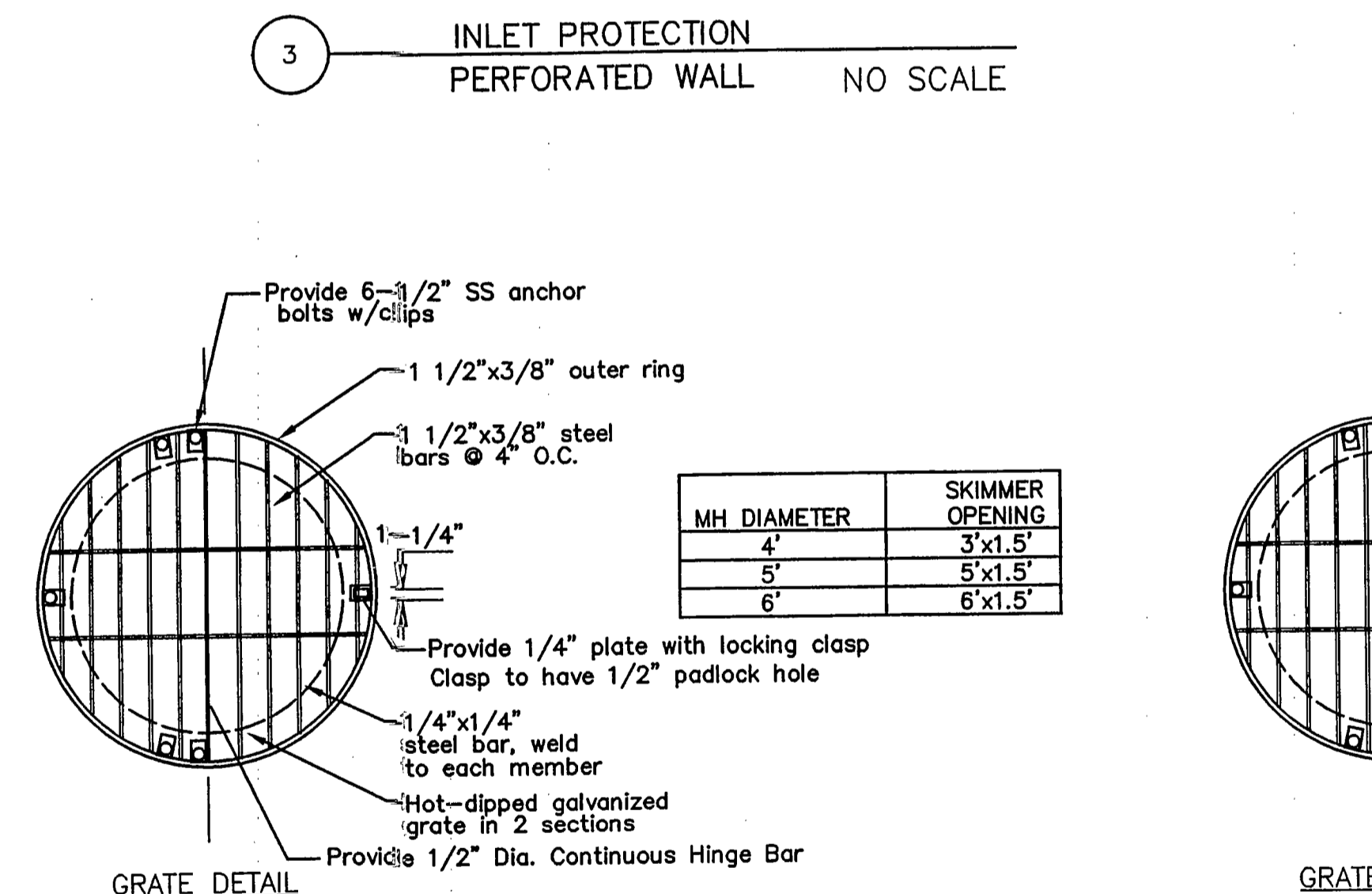


**NOTE:**  
 Rock size should be 1" to 2" in size such as MnDOT CA-1 or CA-2 course aggregate.  
 A geotextile fabric may be used under the rock to prevent migration of the underlying soil into the stone.

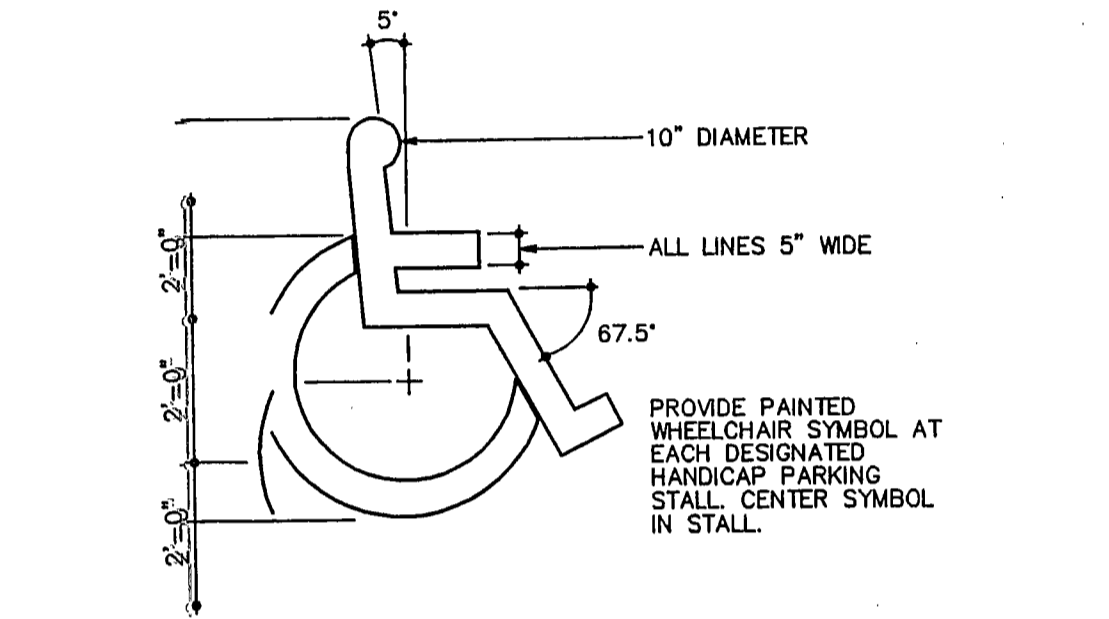
6 ROCK ENTRANCE TO CONSTRUCTION SITE NO SCALE



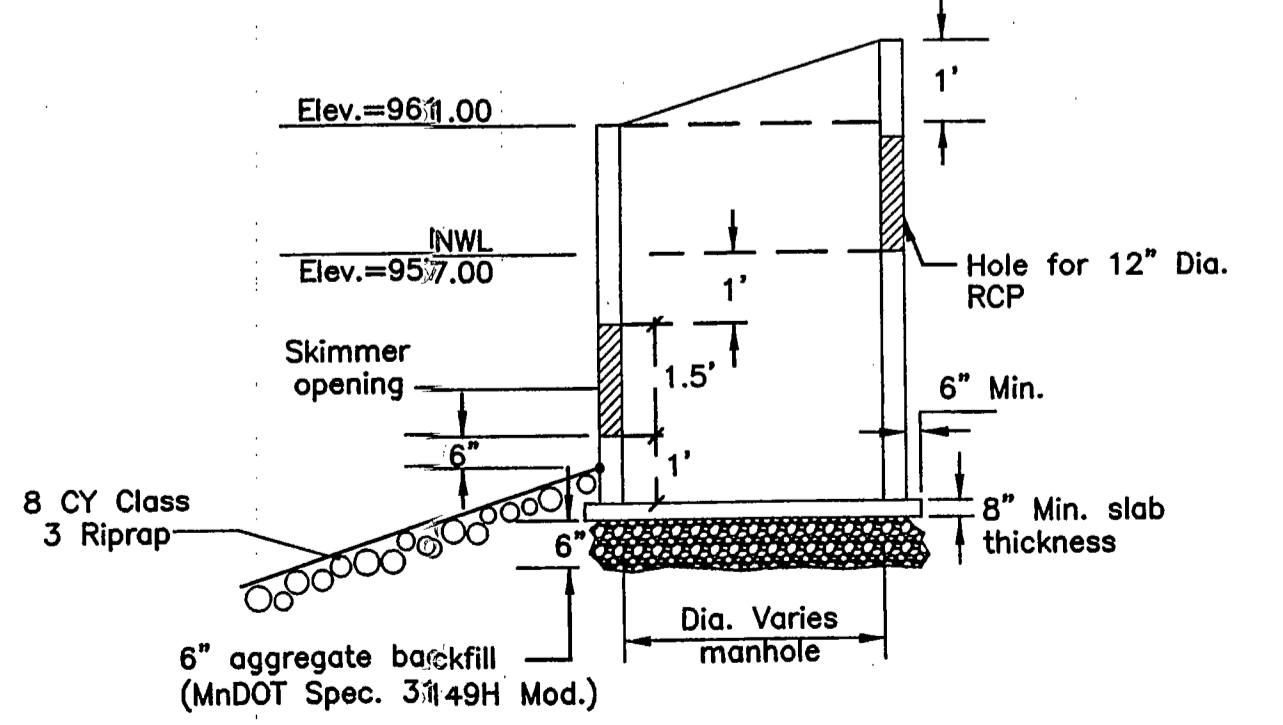
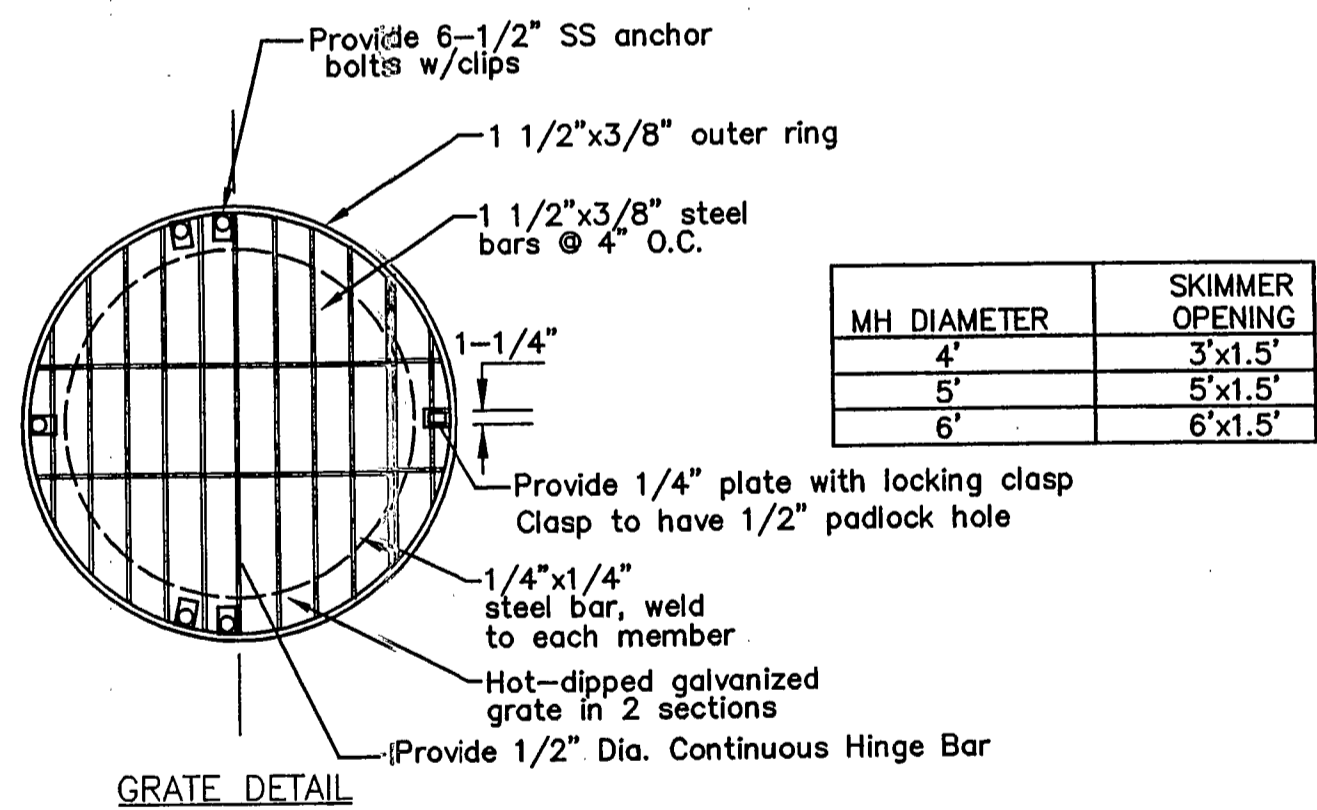
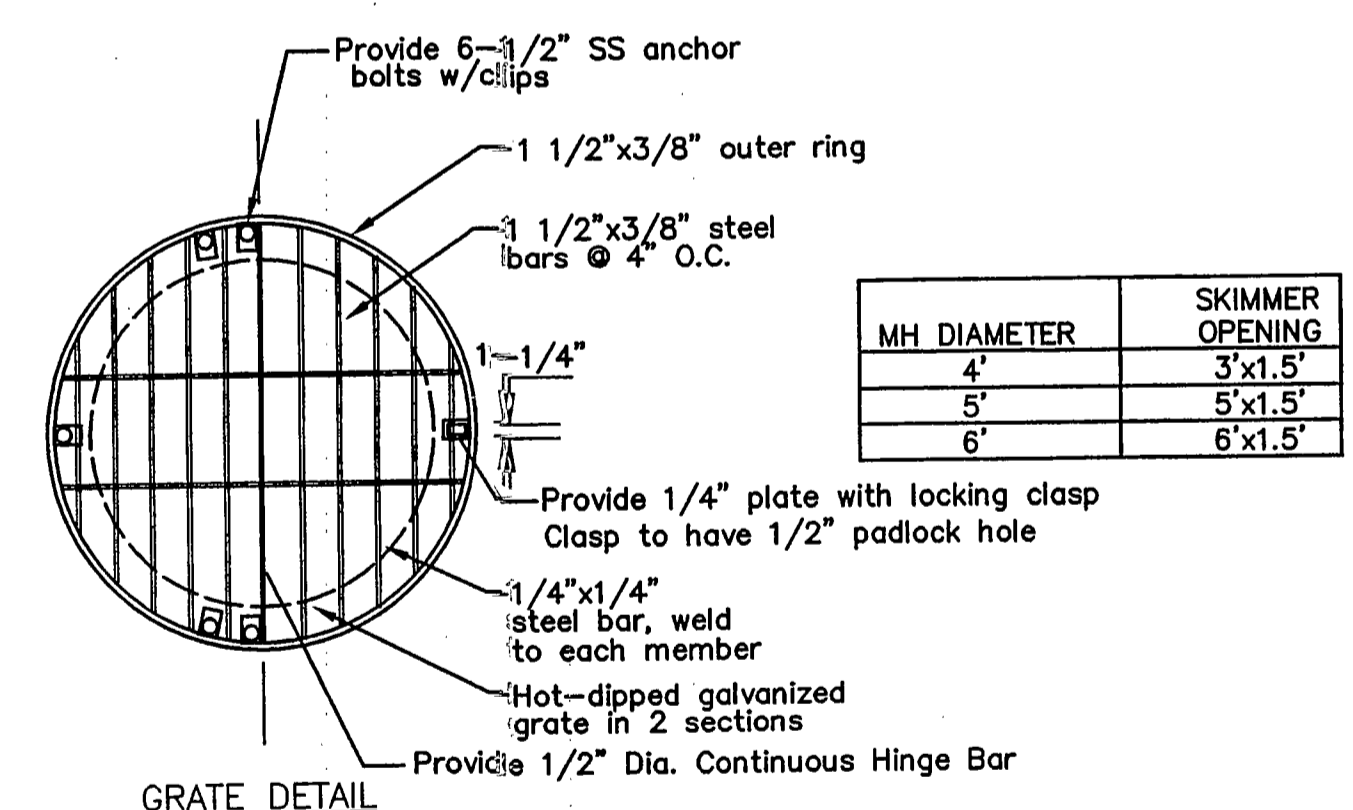
7 HANDICAP PARKING SIGN NO SCALE



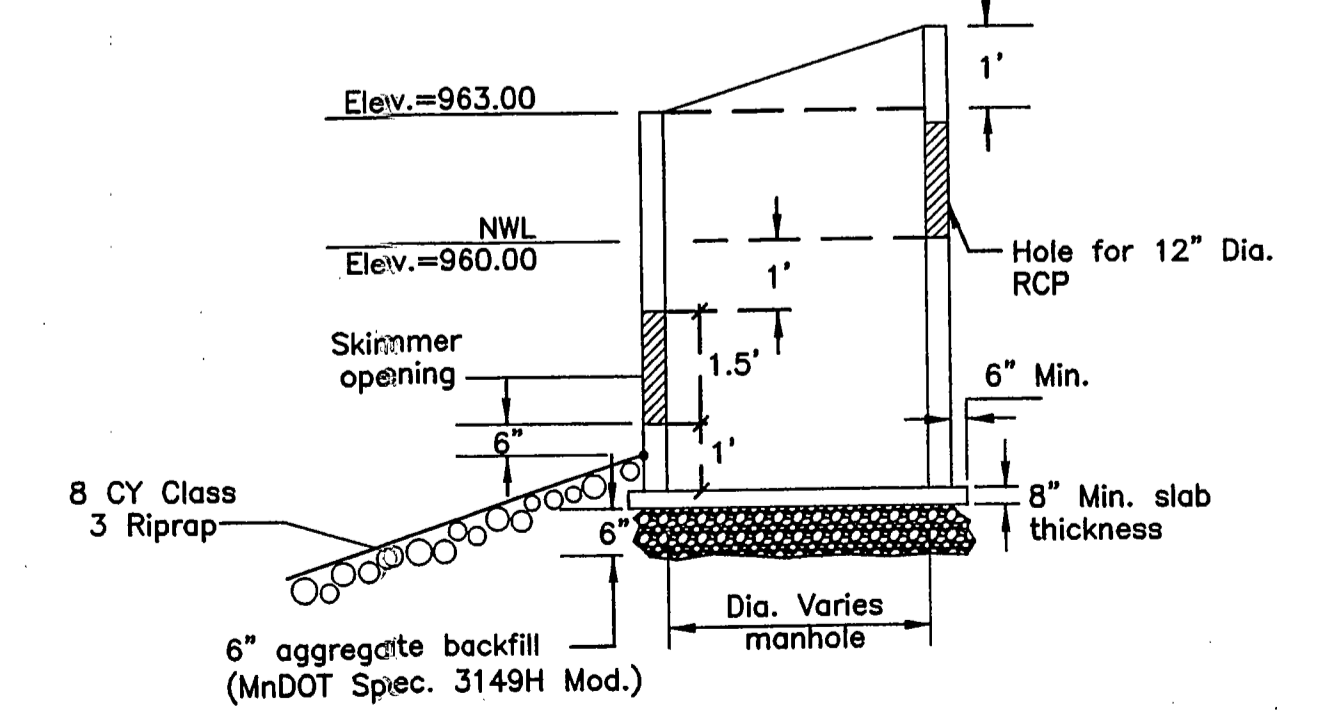
3 INLET PROTECTION PERFORATED WALL NO SCALE



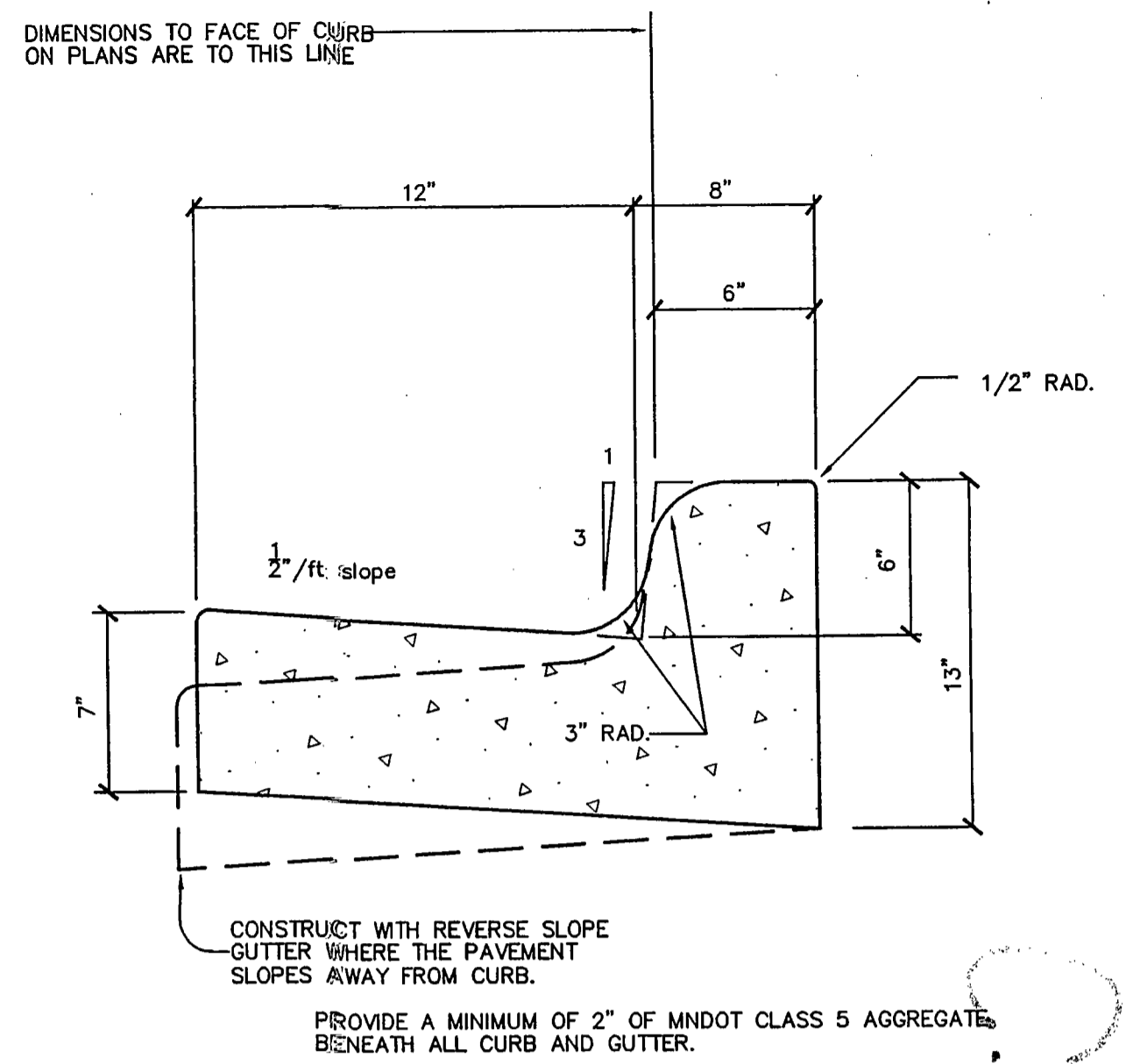
2 WHEELCHAIR SYMBOL NO SCALE



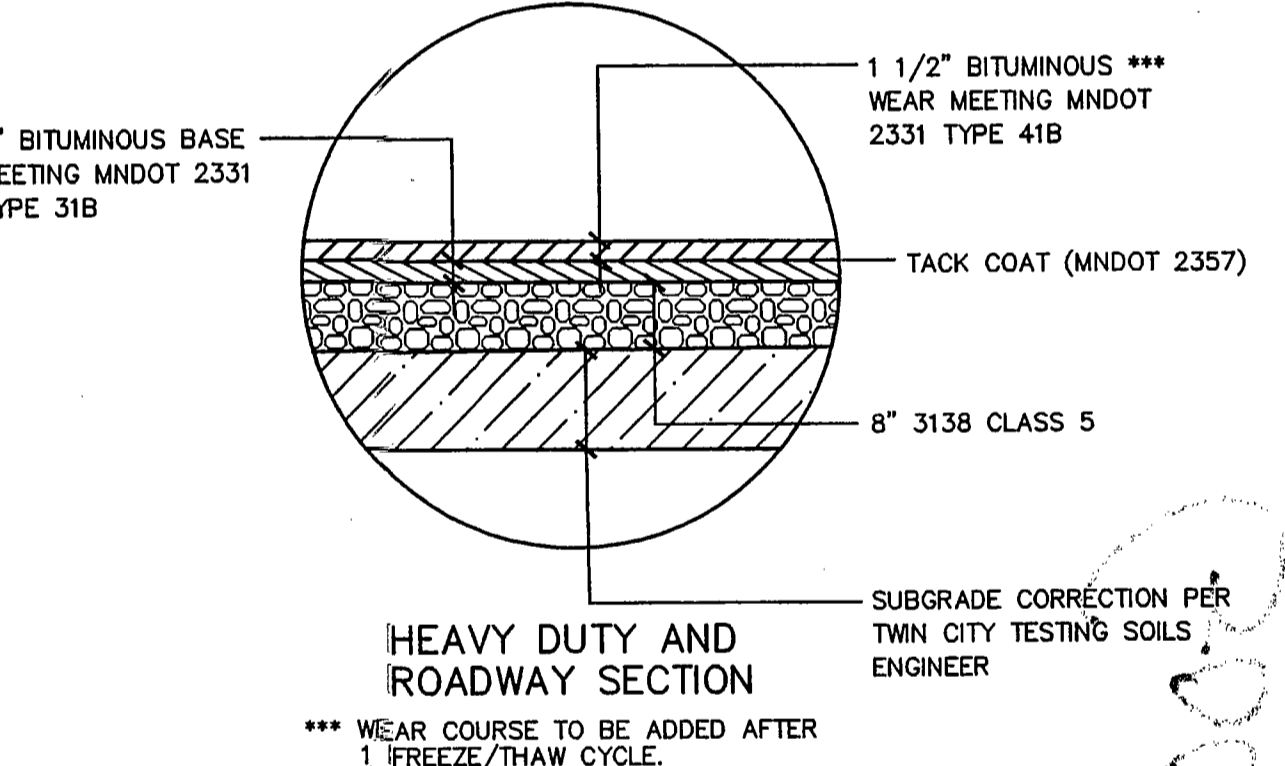
OULET CONTROL STRUCTURE (OCS 2)



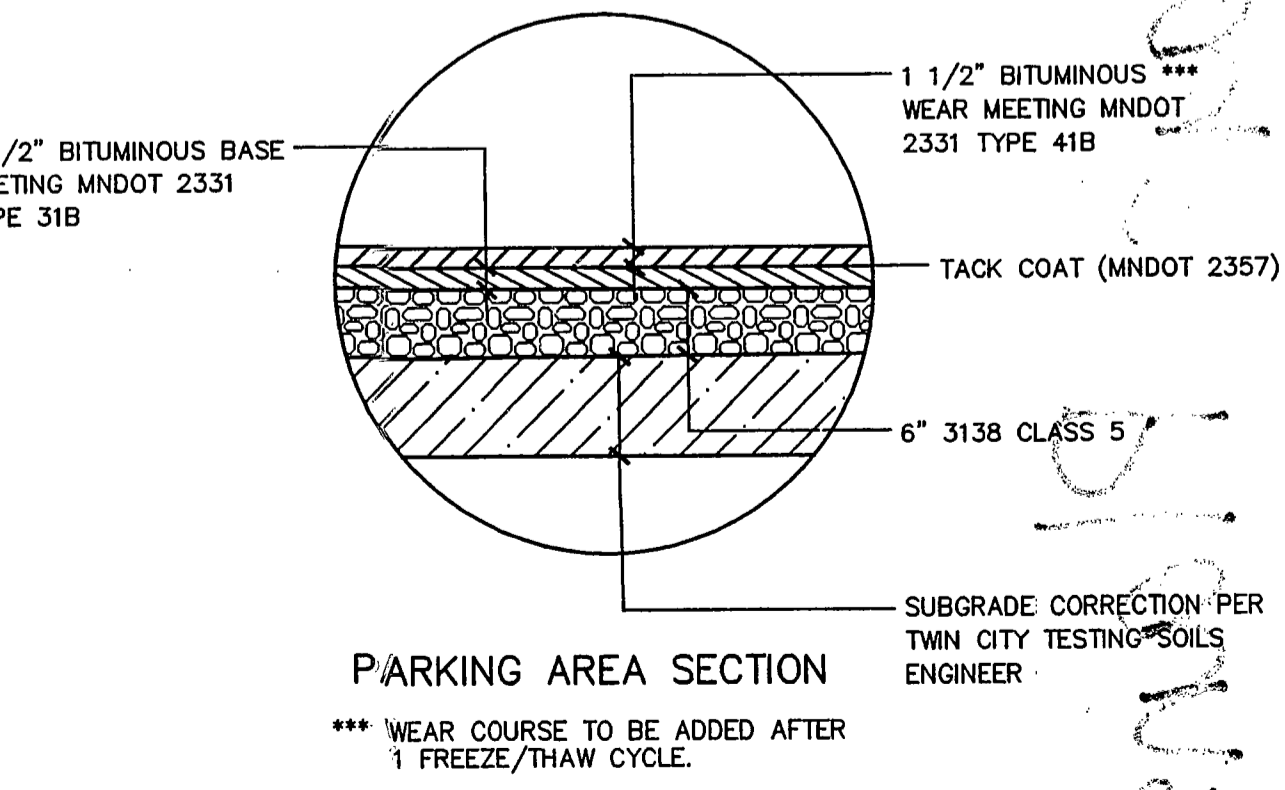
OULET CONTROL STRUCTURE (OCS 1)



8 B612 CURB SECTION NO SCALE



HEAVY DUTY AND ROADWAY SECTION



1 BITUMINOUS PAVING SECTIONS NO SCALE

# ALBERTVILLE PLAZA

## CITY OF MINNESOTA

---

**OWNER**  
**ALBERTVILLE PLAZA LLC**  
 75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5635  
 FAX (651) 484-5701

**DEVELOPER**  
**RJ MARCO CONSTRUCTION, INC.**  
 75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5635  
 FAX (651) 484-5701

**KEY PLAN** LOCATION MAP NOT TO SCALE  
 INTERSTATE BEING NORTH  
 SE 1/4, SECTION 35 TOWNSHIP 121, RANGE 24 WRIGHT COUNTY, MINNESOTA

**SHEET INDEX**

SHEET	TITLE
CD-1	TITLE SHEET
CS-1	EXISTING CONDITIONS PLAN
CS-1	MASTER SITE PLAN-ALBERTVILLE PLAZA
CS-2	SITE PLAN-MULTI-TENANT BUILDING
CS-3	SITE PLAN-CULVERS BUILDING
CS-1	MASTER GRADING & EROSION CONTROL PLAN
CS-2	GRADING PLAN-MULTI-TENANT BUILDING
CS-3	GRADING PLAN-CULVERS BUILDING
CS-1	UTILITY PLAN
CS-1	DETAIL SHEET
CS-2	DETAIL SHEET
CS-1	LANDSCAPE PLAN

**CADD FILE QUALIFICATION:**  
 CADD files prepared by the Engineer/Surveyor for this project are instruments of the Engineer/Surveyor's professional services for use only with respect to the project. These CADD files shall not be used on other projects. For additions to this project or for completion of the project by others, without approval by the Engineer/Surveyor, with the Engineer/Surveyor's approval, others may be permitted to create copies of the CADD drawing files for information and reference only. Any changes or modifications or additions or deletions to these CADD files shall be made at the risk of that party making such changes, additions or deletions and that party shall hold harmless and indemnify the Engineer/Surveyor from any & all responsibilities, claims and damages.

**QUALITY MANAGEMENT REVIEW:**  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

# Loecks ASSOCIATES

Planning • Civil Engineering • Land Surveying  
 Environmental • Architecture

7000 Lakeside Lane, Suite 200, Minneapolis, Minnesota 55424-5042  
 Telephone: (612) 835-2800 Fax: (612) 835-4122  
 94 Page leockassociates.com  
 © 2000

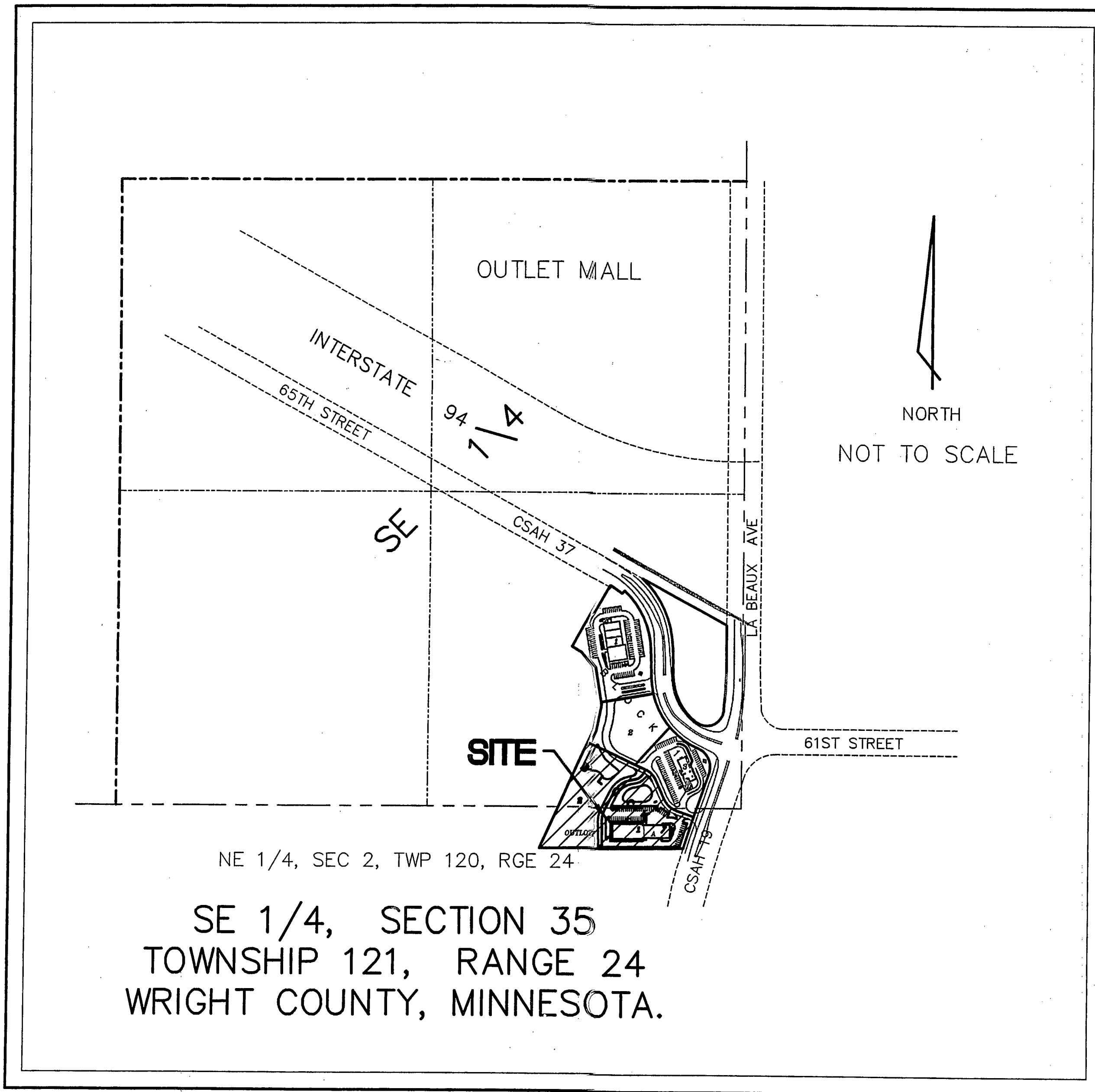
**DETAIL SHEET NOT FOR CONSTRUCTION**

PROJECT NO. 99190F C8-2



# ALBERTVILLE PLAZA 2ND ADDITION

LOT 1 BLOCK 1, ALBERTVILLE PLAZA 2ND ADDITION  
 ALBERTVILLE, MINNESOTA  
 CONSTRUCTION PLANS



VICINITY MAP

## SHEET INDEX

SHEET	TITLE
C0-1	TITLE SHEET
C1-1	EXISTING CONDITIONS
C2-1	SITE PLAN
C3-1	GRADING & DRAINAGE PLAN
C4-1	UTILITY PLAN
C5-1	STORM WATER POLLUTION PREVENTION PLAN
C6-1	PRELIMINARY PLAT
C8-1	DETAIL SHEET
C8-2	DETAIL SHEET

ENGINEER:  
**LOUCKS ASSOCIATES**

7200 HEMLOCK LANE  
 MAPLE GROVE, MN 55369  
 TEL: (763) 424-5505

DEVELOPER:  
**RJ MARCO CONSTRUCTION, INC.**

75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MN 55117  
 TEL: (651) 484-5635

RECEIVED  
 AUG 09 2006  
 Building Inspections

ALBERTVILLE  
 PLAZA 2ND  
 ADDITION

CITY OF



MINNESOTA

OWNER

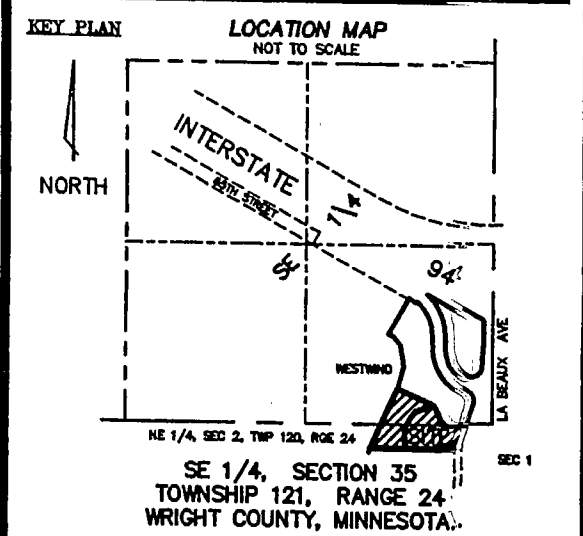
ALBERTVILLE PLAZA LLC

75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5635  
 FAX (651) 484-5701

DEVELOPER

RJ MARCO CONSTRUCTION, INC.

75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5635  
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SHEET	TITLE
C0-1	TITLE SHEET
C1-1	EXISTING CONDITIONS
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C8-1	DETAIL SHEET
C8-2	DETAIL SHEET

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jordan J. Donovan - PE  
 License No. 44613 Date 7-25-06

DATE	REVISION
6-30-06	CITY SUBMITTAL
7-18-06	CITY COMMENTS

QUALITY MANAGEMENT REVIEW:  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**LOUCKS ASSOCIATES**

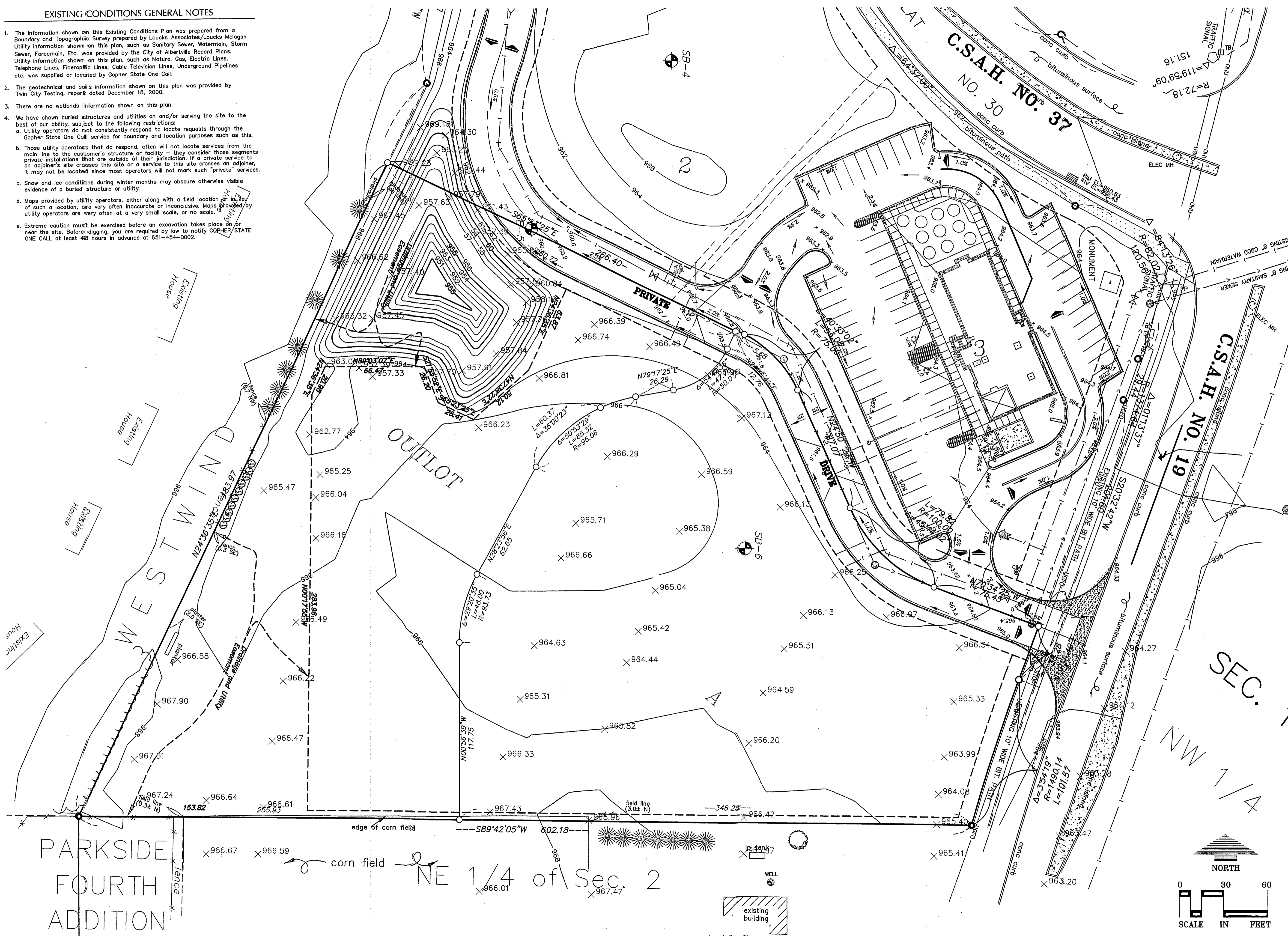
Planning • Civil Engineering • Land Surveying  
 Environmental • Architecture  
 7200 Hemlock Lane, Suite 200, Minneapolis, Minnesota 55429-5502  
 Telephone: (763) 424-5505 Fax: (763) 424-5502  
 © 2006 P.O. Box 148266 Minneapolis, MN

TITLE SHEET

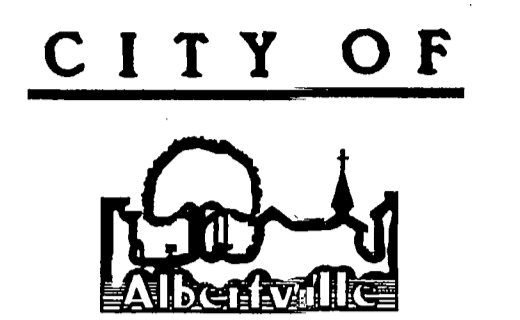
PROJECT NO. 99190 C0-1

EXISTING CONDITIONS GENERAL NOTES

- The information shown on this Existing Conditions Plan was prepared from a Boundary and Topographic Survey prepared by Loucks Associates/Loucks McLean Utility Information shown on this plan, such as Sanitary Sewer, Watermain, Storm Sewer, Forcemain, Etc. was provided by the City of Albertville Record Plans. Utility information shown on this plan, such as Natural Gas, Electric Lines, Telephone Lines, Fiberoptic Lines, Cable Television Lines, Underground Pipelines etc. was supplied or located by Gopher State One Call.
- The geotechnical and soils information shown on this plan was provided by Twin City Testing, report dated December 18, 2000.
- There are no wetlands information shown on this plan.
- We have shown buried structures and utilities on and/or serving the site to the best of our ability, subject to the following restrictions:
  - Utility operators do not consistently respond to locate requests through the Gopher State One Call service for boundary and location purposes such as this.
  - Those utility operators that do respond, often will not locate services from the main line to the customer's structure or facility - they consider those segments private installations that are outside of their jurisdiction. If a private service to an adjoining site crosses this site or a service to this site crosses an adjoining, it may not be located since most operators will not mark such "private" services.
  - Snow and ice conditions during winter months may obscure otherwise visible evidence of a buried structure or utility.
  - Maps provided by utility operators, either along with a field location or the location of such a location, are very often inaccurate or inconclusive. Maps provided by utility operators are very often at a very small scale, or no scale.
  - Extreme caution must be exercised before an excavation takes place on or near the site. Before digging, you are required by law to notify GOPHER STATE ONE CALL at least 48 hours in advance at 651-454-0002.



ALBERTVILLE  
PLAZA 2ND  
ADDITION



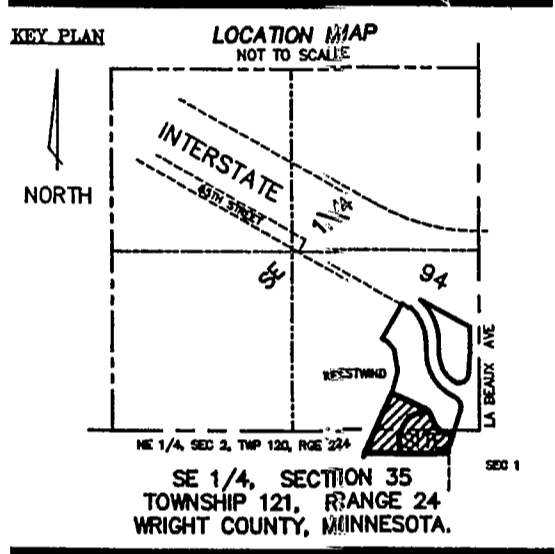
MINNESOTA

OWNER  
ALBERTVILLE PLAZA LLC

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-5635  
FAX (651) 484-5701

DEVELOPER  
RJ MARCO CONSTRUCTION, INC.

75 WEST VIKING DRIVE, SUITE 104  
LITTLE CANADA, MINNESOTA 55117  
PHONE (651) 484-5635  
FAX (651) 484-5701



SHEET INDEX

SHEET	TITLE
CO-1	TITLE SHEET
CO-1	EXISTING CONDITIONS
CO-1	SITE PLAN
CO-1	GRADING, DRAINAGE PLAN
CO-1	UTILITY PLAN
CO-1	STORM WATER POLLUTION PREVENTION PLAN
CO-1	PRELIMINARY PLAT
CO-1	DETAIL SHEET
CO-2	DETAIL SHEET

**CAD FILE QUALIFICATION:**  
CAD files prepared by the Engineer/Surveyor for this project are intended for the Engineer/Surveyor's professional services for use only with respect to this project. These CAD files shall not be used on other projects, for conditions to this project or for completion of this project by others without written approval by the Engineer/Surveyor. With the Engineer/Surveyor's approval, others may be permitted to obtain copies of the CAD drawing files for information and reference only. All intentional or unintentional revisions, additions or deletions to these CAD files shall be made at the full risk of the party making such revisions, additions or deletions and the user shall hold harmless, defend, indemnify or Engineer/Surveyor from any & all responsibilities, claims and liabilities.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE  
License No. 44613 Date 7/25/06

DATE	REVISION
6-30-06	CITY SUBMITTAL
7-19-06	CITY COMMENTS

QUALITY MANAGEMENT REVIEW:  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**LOUCKS ASSOCIATES**  
Planning • Civil Engineering • Land Surveying  
Environmental • Archeology  
7200 Bendick Lane, Suite 300, Minneapolis, Minnesota 55425-5002  
Telephone: (763) 424-2000 Fax: (763) 424-9822  
No Page Technology, Inc.

EXISTING CONDITIONS

PROJECT NO. 99-190F	C1-1
------------------------	------

**SITE PLAN GENERAL NOTES**

- SETBACKS:**  
 Front building setback = 35'    Front parking setback = 5.5'  
 Side building setback = 10'    Side parking setback = 5.5'  
 Rear building setback = 20'    Rear parking setback = 5.5'
- ZONING:**  
 Existing zoning = B-3 PUD Proposed zoning = B-3 PUD
- PARKING SUMMARY:**  
 Surface regular stalls = 56    Surface Handicapped stalls = 2  
 Total Surface stalls = 58    Surface stalls required = 58
- AREA/DENSITY:**  
 Total Plat Area = 175,145 Sq.Ft. or 4.02 Acres = 100%  
 Lot 1, Block 2 Area = 87,120 Sq.Ft. or 2.0 Acres = 50%  
 Lot 2, Block 2 Area = 88,025 Sq.Ft. or 2.0 Acres = 50%
- All paving, concrete curb, gutter and sidewalk shall be furnished and installed in accordance with the details shown per sheet CB-1 and the requirements of the City. See Landscape and Architectural Plans for any additional hardscape applications.
- The City Department of Engineering and Building Inspections Dept. and the construction engineer shall be notified at least 48 hours prior to any work within the street right of way (sidewalk, street or driveways)
- Minnesota State statute requires notification per "Gopher State One Call" prior to commencing any grading, excavation or underground work.
- See contract specifications for any removal details.
- Any sign or fixtures removed with in the right of way or as part of the site work shall be replaced by the contractor in accordance with the City requirements. The contractor shall preserve and maintain any existing street lights and traffic signs per the requirements of the City.
- Clear and grub and remove all trees, vegetation and site debris prior to grading. All removed material shall be hauled from the site daily. All clearing and grubbing and removals shall be performed per the contract specifications. Erosion control measures shall be immediately established upon removal. (See Sheet C3-1)
- The contractor shall be required to obtain all permits from the City as required for all work with the street and public right of way.
- A significant portion of site improvements not shown on this sheet are described and provided in further detail on the Architectural and Landscape Plans. This includes landscaping, lighting and other fixtures.
- 6618 concrete curb and gutter shall be installed at the edge of all common drives and parking lots. Surmountable curb placed along the south side of the proposed building.

LIST OF POSSIBLE USES:  
 RESTAURANT  
 AUTOMOBILE SERVICE  
 PROFESSIONAL OFFICE  
 BANK  
 MOTEL  
 DAY CARE  
 RETAIL SALES

CALL BEFORE YOU DIG!  
**Gopher State One Call**

TWIN CITY AREA: 651-454-0002  
 TOLL FREE: 1-800-252-1166



**ALBERTVILLE PLAZA 2ND ADDITION**

**CITY OF**



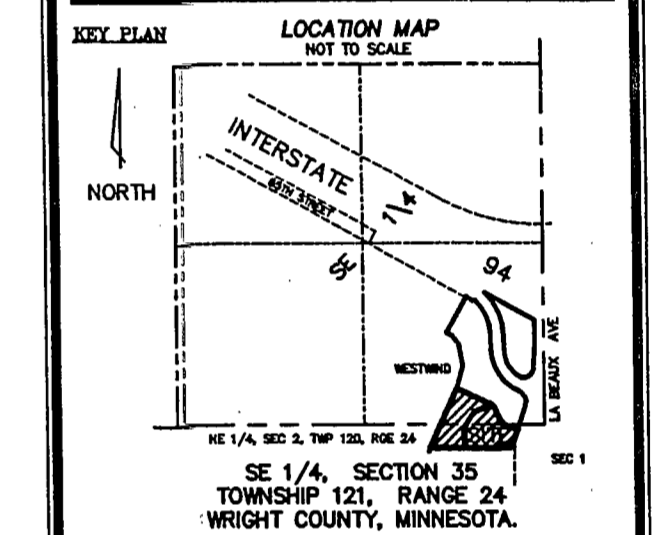
**MINNESOTA**

ORDER:  
**ALBERTVILLE PLAZA LLC**

75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5685  
 FAX (651) 484-5701

DEVELOPER:  
**RJ MARCO CONSTRUCTION, INC.**

75 WEST VIKING DRIVE, SUITE 104  
 LITTLE CANADA, MINNESOTA 55117  
 PHONE (651) 484-5685  
 FAX (651) 484-5701



SHEET INDEX

SHEET	TITLE
CO-1	TITLE SHEET
CS-1	EXISTING CONDITIONS
CS-1	SITE PLAN
CS-1	GRADING, DRAINAGE PLAN
CS-1	UTILITY PLAN
CS-1	STORM WATER POLLUTION PREVENTION PLAN
CS-1	PRELIMINARY PLAT
CS-1	DISTAL SHEET
CS-2	DISTAL SHEET

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Jonathan J. Donovan*  
 Jonathan J. Donovan - PE  
 44613 License No. 7-25-06 Date

DATE	REVISION

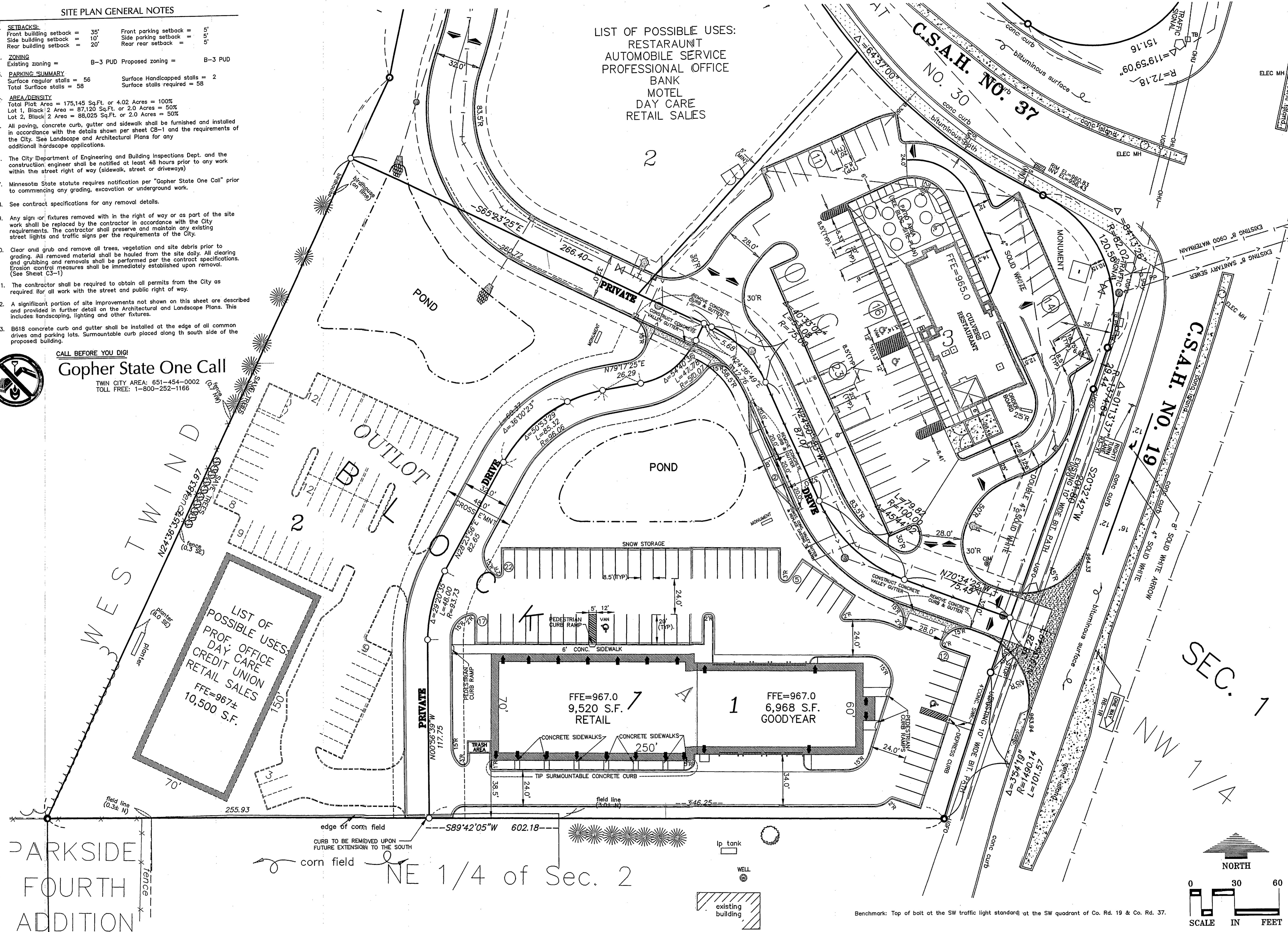
QUALITY MANAGEMENT REVIEW:  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**LOUCKS ASSOCIATES**

Planning • Civil Engineering • Land Surveying  
 Environmental • Archaeology  
 7200 Bemis Lane, Suite 500, Minneapolis, Minnesota 55425-5502  
 Telephone: (612) 339-2500 Fax: (612) 339-2822  
 4th Page: loucks@loucks.com

SITE PLAN

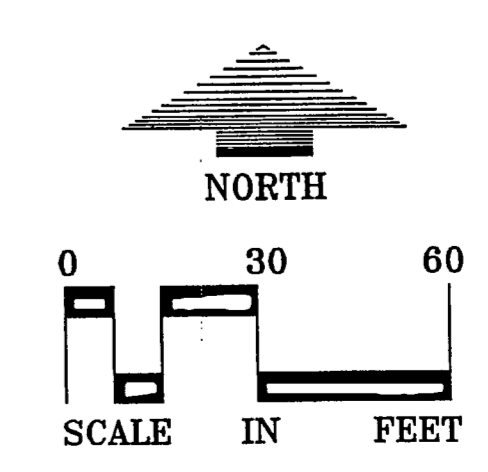
PROJECT NO. 99-190F C2-1

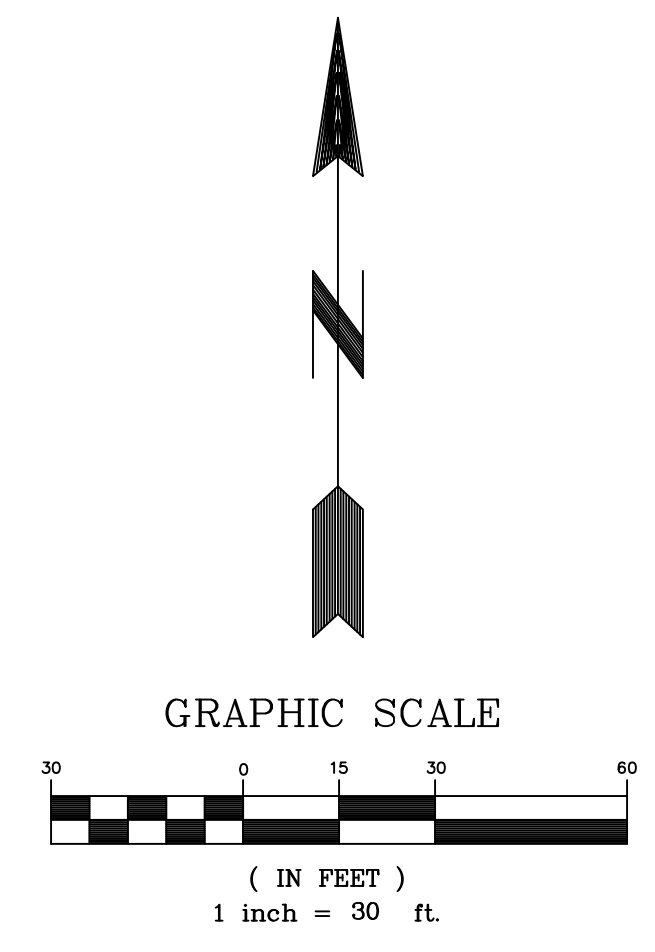
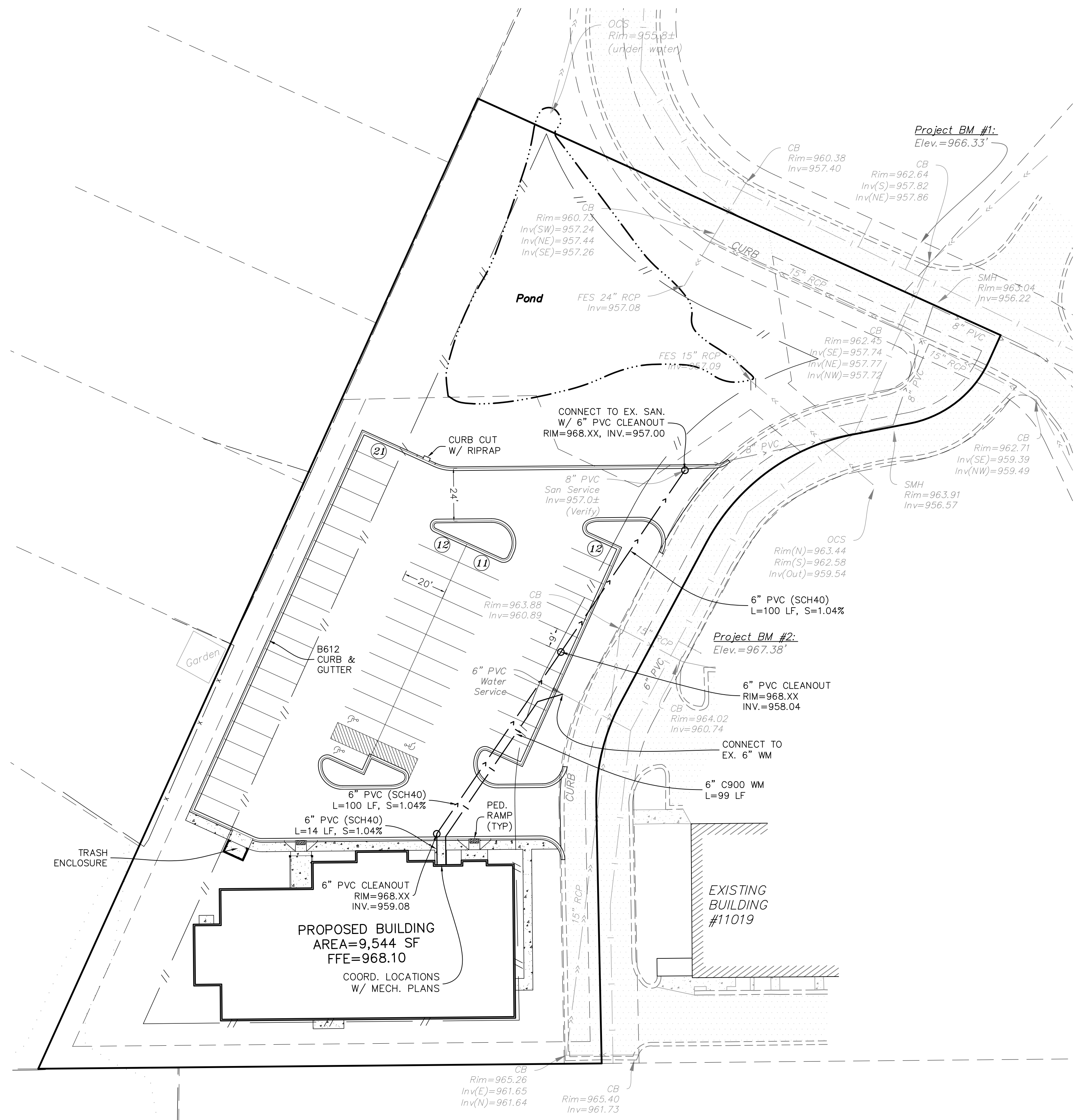


PARKSIDE FOURTH ADDITION

NE 1/4 of Sec. 2

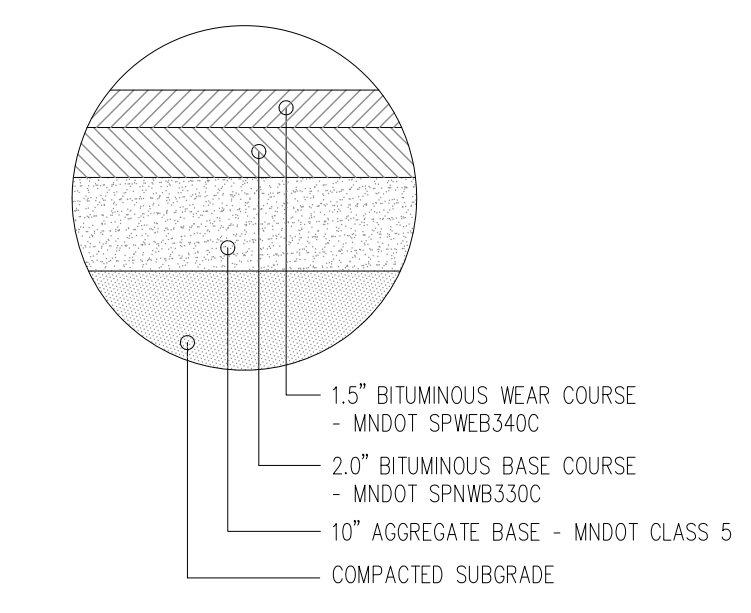
Benchmark: Top of bolt at the SW traffic light standard at the SW quadrant of Co. Rd. 19 & Co. Rd. 37.





**NOTES:**

1. BASE PLAN USED IS A SURVEY PREPARED BY BOGART PEDERSON & ASSOCIATES.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF ALBERTVILLE AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. LOT AREA=88,003 SF (2.02 AC)  
EXISTING IMPERVIOUS AREA=9,313 SF (10.6%)  
PROPOSED IMPERVIOUS AREA=43,297 SF (49.2%)
5. 56 PARKING STALLS (INCLUDING 3 ACCESSIBLE STALLS).



NOTE: PAVEMENT SECTION MAY BE REVISED IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS  
**PAVEMENT SECTION**  
NO SCALE

Exhibit B

**REVIEW PLAN**  
**NOT FOR CONSTRUCTION**

**STARK ENGINEERING**

www.starkengineer.com  
350-249-2611  
Stark, Rapids, Minnesota

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

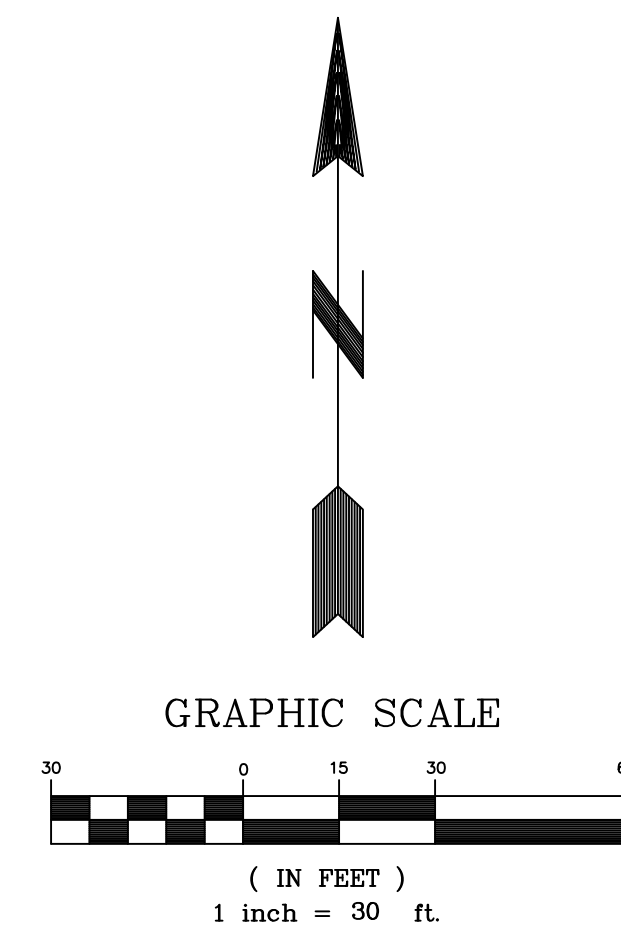
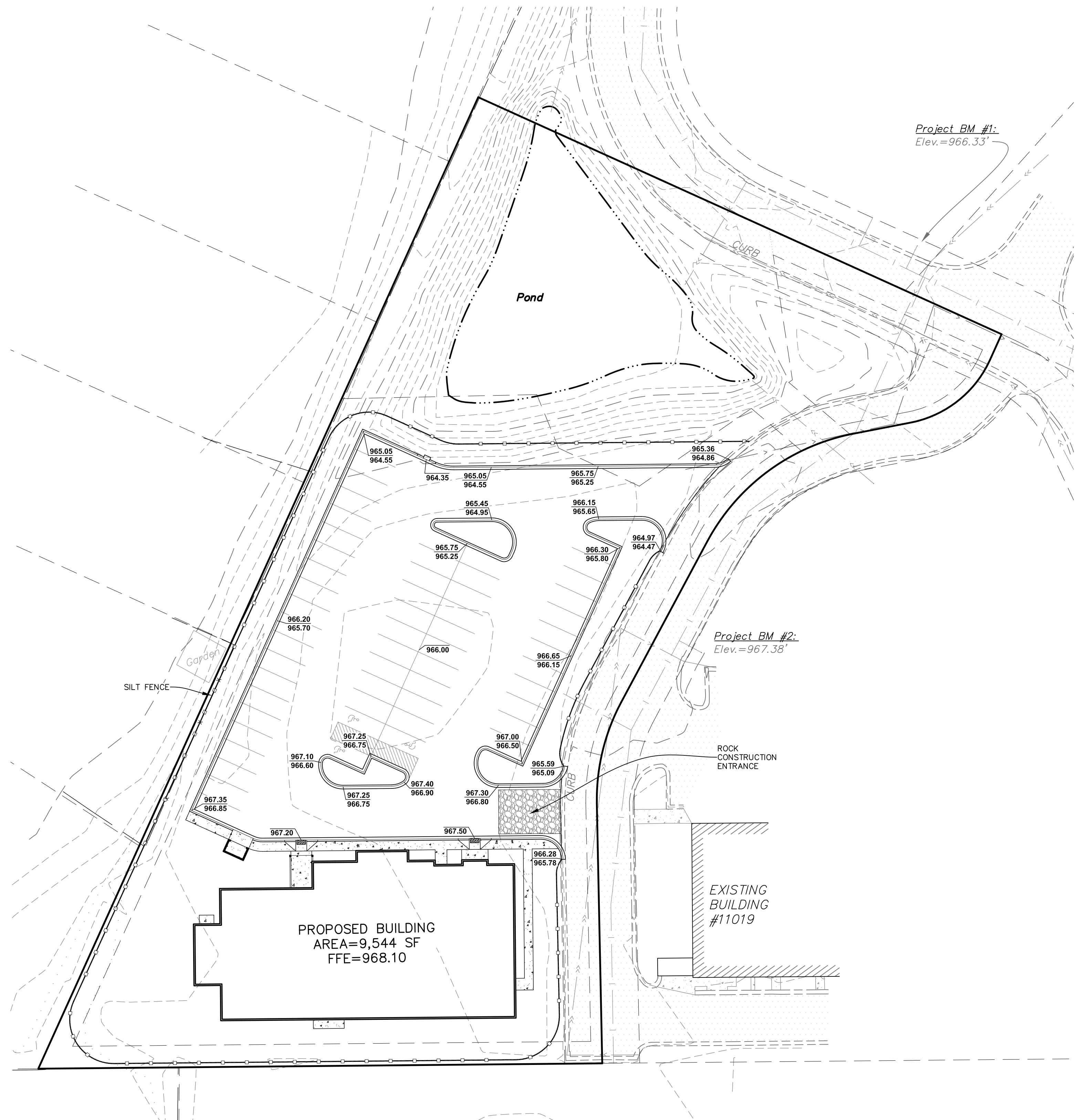
Wayne C.B. Stark      7/11/24      26093      Date      Registration No.

REVISIONS	DATE	PER REVIEW	CITY SUB.
6/28/24			
7/11/24			

**SITE AND UTILITY PLAN**

GRAVITY DANCE STUDIO  
ALBERTVILLE, MINNESOTA  
for:  
AXYS CONSTRUCTION

SHEET  
**C-1**  
OF 2 SHEETS



**NOTES:**

1. BASE PLAN USED IS A SURVEY PREPARED BY BOGART PEDERSON & ASSOCIATES.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF ALBERTVILLE AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. THE FOLLOWING SEQUENCE AND PROTOCOLS SHALL BE FOLLOWED FOR EROSION AND SEDIMENT CONTROL DURING THE SITE DEVELOPMENT PROCESS:
  - A. INSTALL PERIMETER CONTROLS (SILT FENCE & ROCK ENTRANCE) AS SHOWN ON THE PLANS PRIOR TO START OF WORK.
  - B. NO CONCRETE WASHOUTS ARE ALLOWED ON THE PROJECT SITE. SOIL STOCKPILES SHALL HAVE PERIMETER CONTROL AND HAVE TEMPORARY SEED AND MULCH.
  - C. MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH 1/2" OR MORE RAIN EVENT. CLEAN OR MAINTAIN THESE DEVICES AS NEEDED TO BE EFFECTIVE. REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
  - D. REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN IT OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT.
  - E. PERFORM GRADING, EXCAVATION AND EMBANKMENT. SEED AND MULCH ALL DISTURBED AREAS OUTSIDE OF PROPOSED BUILDING AND PAVEMENT AREAS WITHIN 72 HOURS OF THIS WORK.
  - F. INSTALL UTILITIES, CONSTRUCT BUILDING AND PAVEMENT SECTION. FINE GRADE SITE AND RESTORE GREEN AREAS WITH PERMANENT VEGETATION OF SOD/SEED PER PLANS.
  - G. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED WITH AT LEAST 70% COVERAGE.

www.starkengineer.com  
350-249-2611  
Stark, Rapids, Minnesota

**STARK ENGINEERING**

I hereby certify that this plan, specification or report was prepared by me or under my supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota  
Wayne C.B. Stark      7/11/24      26093      Date      Registration No.

REVISIONS	DATE	CITY SUB.	BY	CHECKED	APPROVED
	7/11/24				

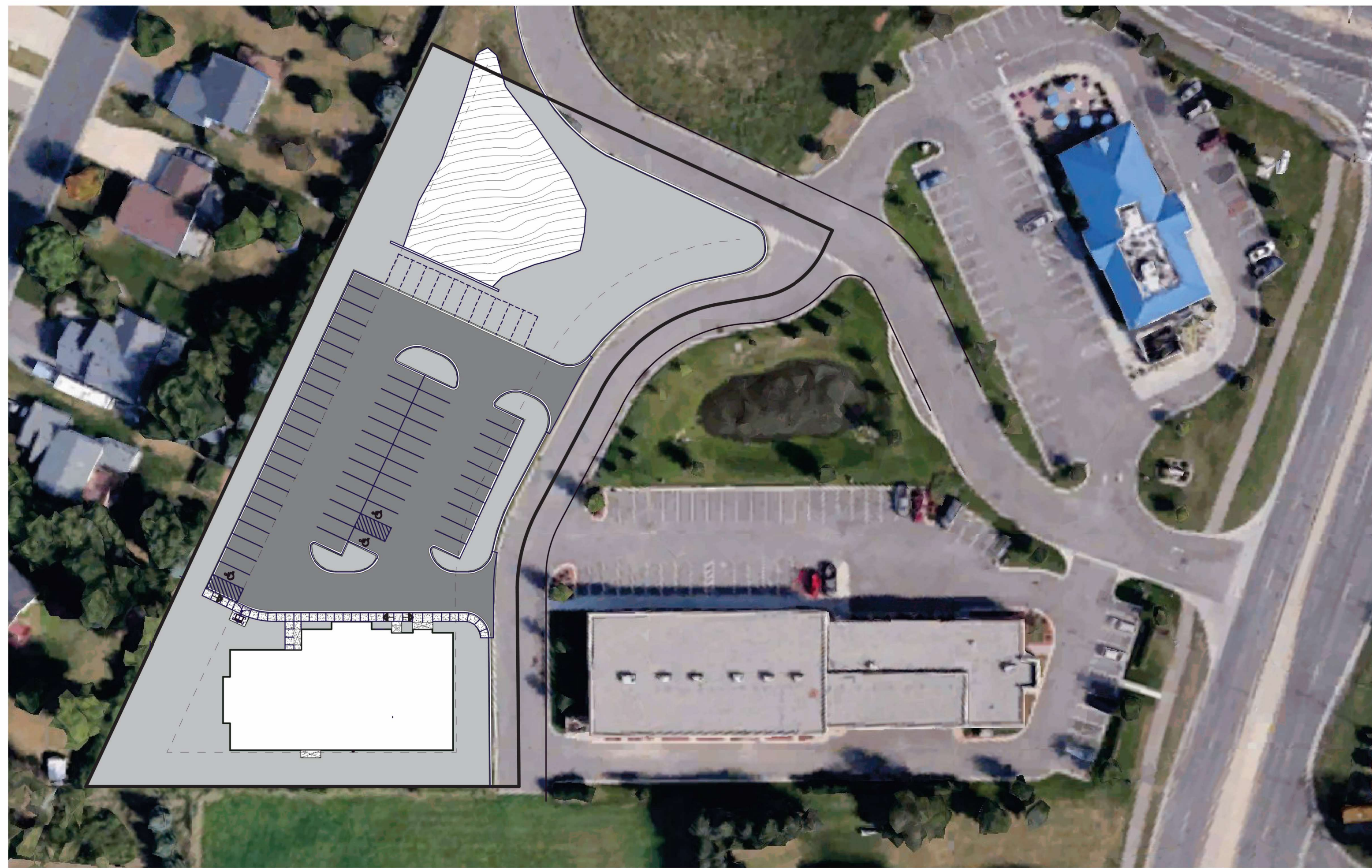
**GRADING AND EROSION CONTROL PLAN**

GRAVITY DANCE STUDIO  
ALBERTVILLE, MINNESOTA  
for:  
AXYS CONSTRUCTION

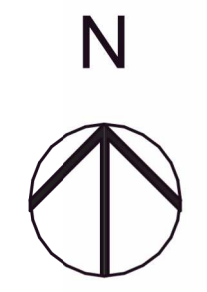
**REVIEW PLAN**  
**NOT FOR CONSTRUCTION**

SHEET  
**C-2**  
OF 2 SHEETS

Exhibit C



# Landscape Plan



4918 S. Tri Oak Circle NE  
East Bethel, MN 55092  
Phone 651-245-2346  
www.michaeljthomasarchitect.com

Project No:  
24009  
Date Last Revised:  
05-24-24, 06-01-24, 06-12-24,  
06-16-24

File Name:  
24009\_Axys Gravity Dance  
Studio 06-16-24.pln  
Drawn By:  
MJT

Minnesota License No.:  
23592

Date Signed:  
00-00-00

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature

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The architectural works depicted herein are the sole property of Michael J. Thomas Architect, LLC and may not be constructed or used without its expressed written permission. No permission to modify or reproduce any of these architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building(s) depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due to Michael J. Thomas Architect, LLC and, in absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.

2 Site w/ Aerial  
SCALE: 1" = 50'

## Landscape Legend

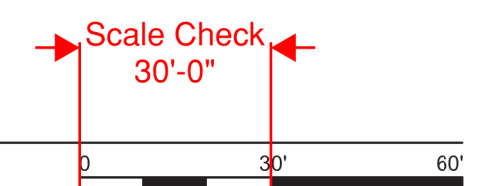
- 8 Red Maple 2" B&B: Mature Size 45'H x 35'W
- 6 Boulevard Linden 2" B&B: Mature Size 50-60'H x 25-30'W
- 7 Velvet Pillar Crab 1.5" B&B: Mature Size 20'H x 10-15'W
- 24 Nannyberry Viburnum #10 Cont.: Mature Size 10-20'H x 6-10'W
- 21 Dwarf Bush Honeysuckle #2 Cont.: Mature Size 3-4'H x 3'W
- 14 Magic Carpet Spirea #2 Cont.: Mature Size 1.5-2'H x 1.5-2'W
- 17 Iroquois Beauty Chokeberry #2 Cont.: Mature Size 3-4'H x 3-5'W
- 11 Karl Foerster Reed Grass #1 Cont.: Mature Size 48"H x 30"W
- 6 Apricot Sparkles Daylily #1 Cont.: Mature Size 15"H x 12-18"W
- 11 Forever Purple Heuchera #1 Cont.: Mature Size 10"H x 22"W
- 8 Autumn Fire Sedum #1 Cont.: Mature Size 10"H x 22"W
- 1.5" Decorative Rock Mulch
- Sod: Kentucky Blue Grass Mix
- Hydroseed: No Mow Fescue Mix (Twin City Seed Co. or approved Alt.)
- Black Poly Edging: Commercial Grade (5" Black Jack or approved Alt.)



Total Foot Print 9,240 sf  
Gravity Dance Studio 7,073 sf  
Tenant Space 2,167 sf  
Parking Proposed  
Accessible Spaces = 3  
Non-Accessible Spaces = 53  
Total = 56  
Proof of Parking For 10 Additional Spaces  
Site Area = 88,451 (2.03 Acres)

1 Concept Site Plan  
SCALE: 1" = 30'

## Exhibit D

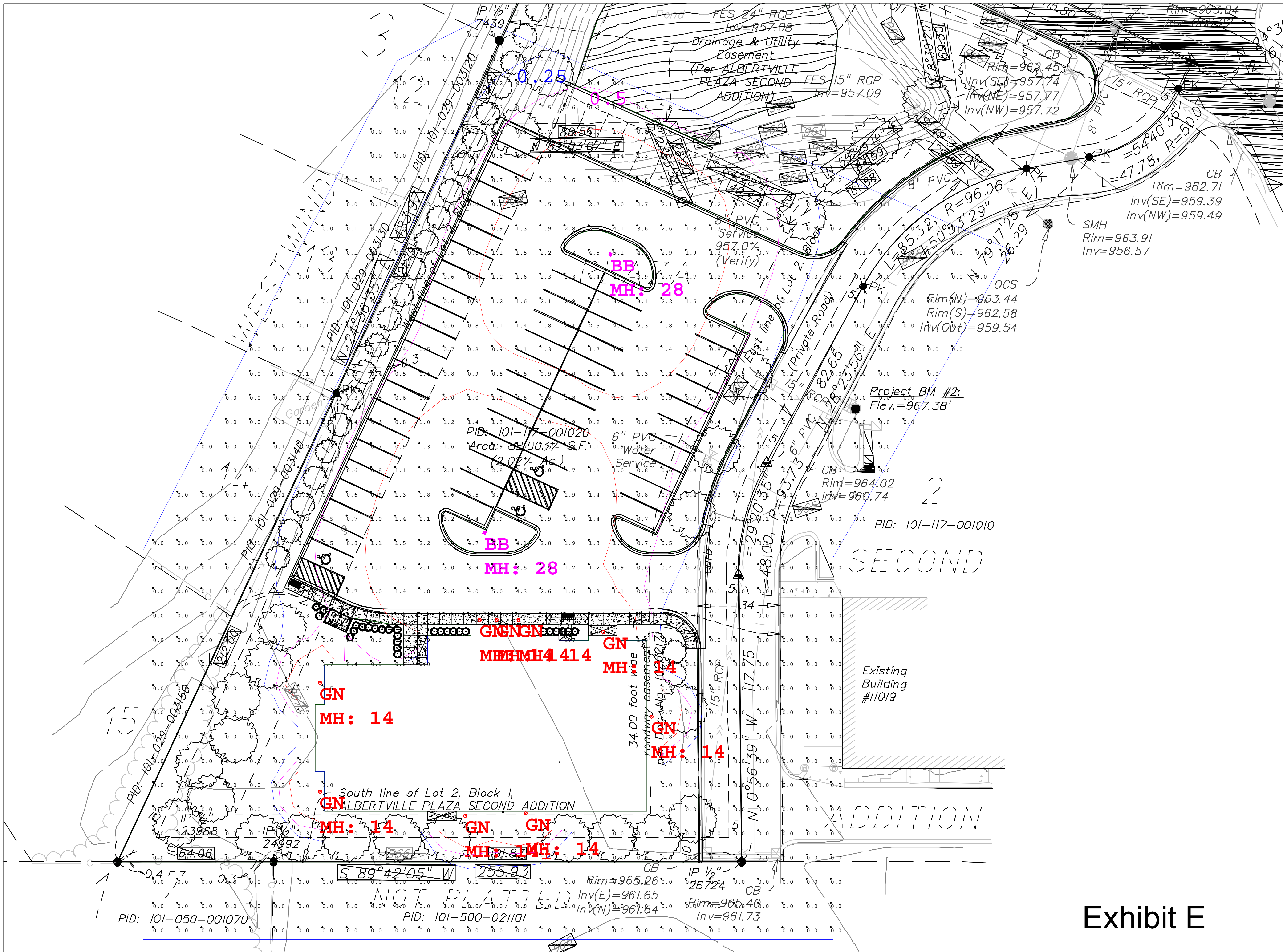


Preliminary Do Not Use for Construction

Gravity Dance Studio  
New Building Built to Suite by Axys Construction  
New Corner of Labeaux Avenue NE & County Road 37 NE  
Albertville, MN 55301


## A1.0a

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



# Exhibit E

Calculation Summary		Units	Avg	Max	Min	Avg/Min	Max/Min
Label	CalcType	Fc	0.63	9.1	0.0	N.A.	N.A.
Ground_Planar	Illuminance						
Luminaire Schedule		Description					
Symbol	Qty	Arrangement					
□	2	Single					
○	9	Single					
			LLF	Luminaire Lumens	Luminaire Watts	Total Watts	
			0.910	28615	190	380	
			0.910	1318	28.5	256.5	



A Sonapar Company

#	Date	Comments
Revisions		

Drawn By: Daniel Budke  
 Checked By:  
 Date: 6/20/2024

Scale:

## Gravity Dance Studio

### Exterior

Page M of 1

**Assembly A-3 Dance Hall**  
**Exercise Room Occupant Load Factor 50 sf = 76 Occupants**

**Gravit Dance Studio SF = 7,000**  
**Tenant Space SF = 2,544**  
**Total Gross SF = 9,544**



4918 S. Tri Oak Circle NE  
 East Bethel, MN 55092  
 Phone 651-245-2346  
 www.michaelthomasarchitect.com

Project No:  
 24009  
 Date Last Revised:  
 05-24-24, 06-01-24, 06-12-24,  
 06-16-24, 06-29-24, 07-04-24

File Name:  
 24009 Axys Gravity Dance  
 Studio 07-04-24.pln  
 Drawn By:  
 MJT

Minnesota License No.:  
 23592

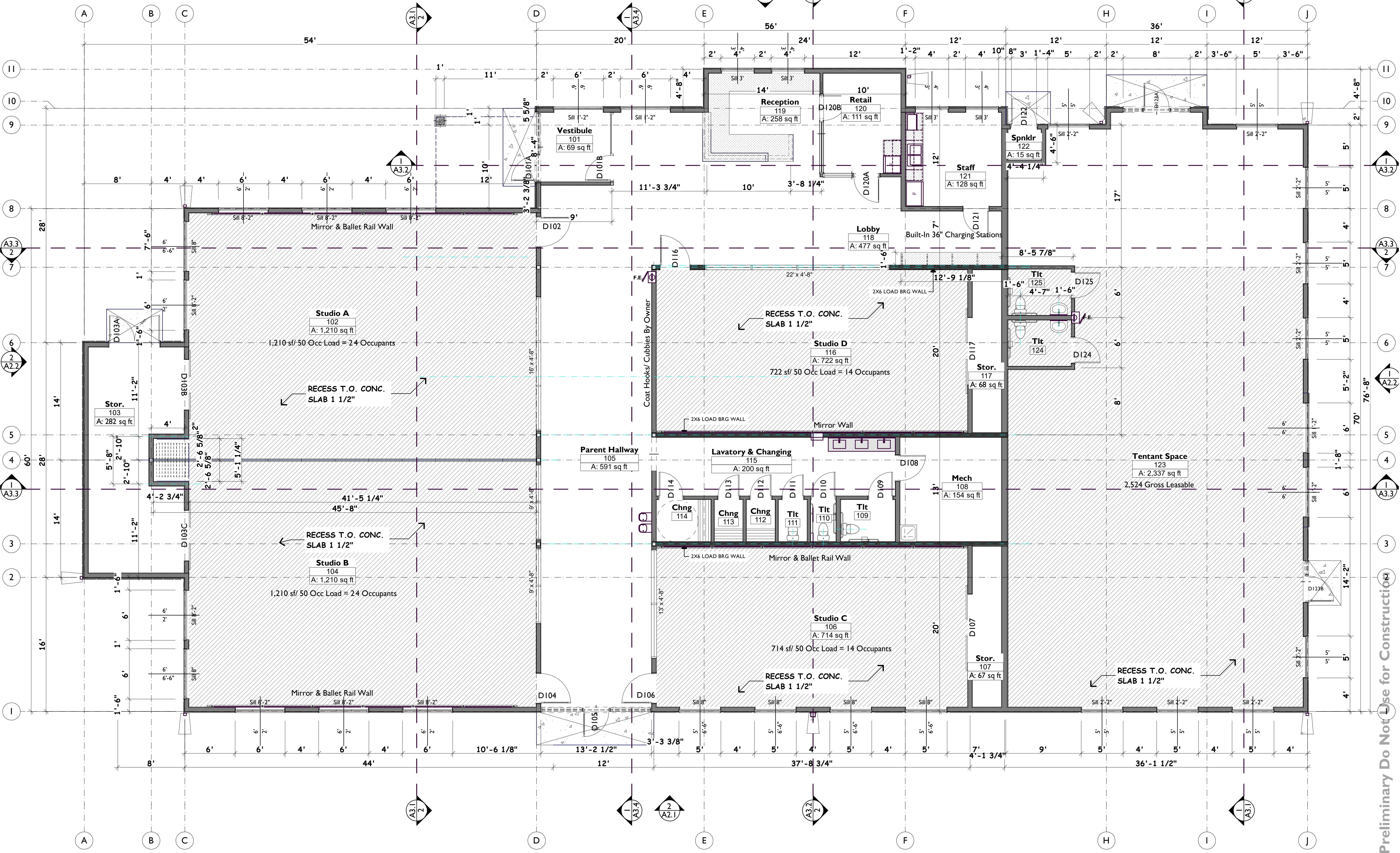
Date Signed:  
 00-00-00

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature

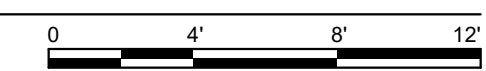
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SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

**1 First Story Floor Plan**  
 SCALE: 3/16" = 1'-0"



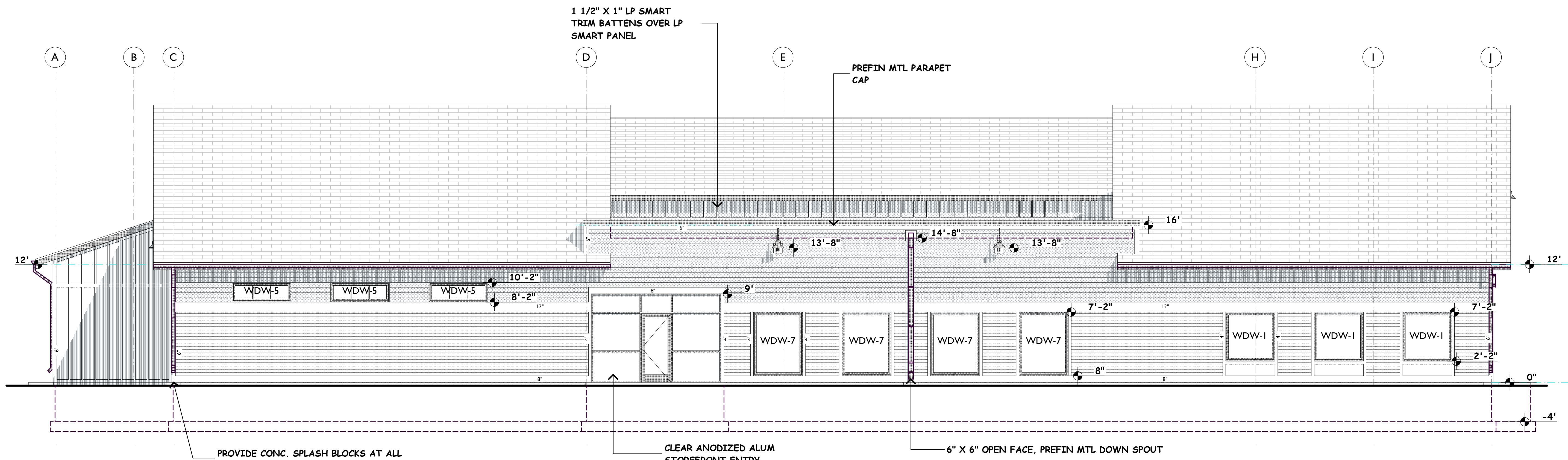
**Exhibit F**

Preliminary Do Not Use for Construction

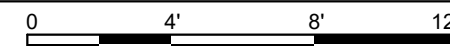
**Gravity Dance Studio**  
 New Building Built to Suite by Axys Construction  
 New Corner of Labeaux Avenue NE & County Road 37 NE  
 Albertville, MN 55301

**AI.1**

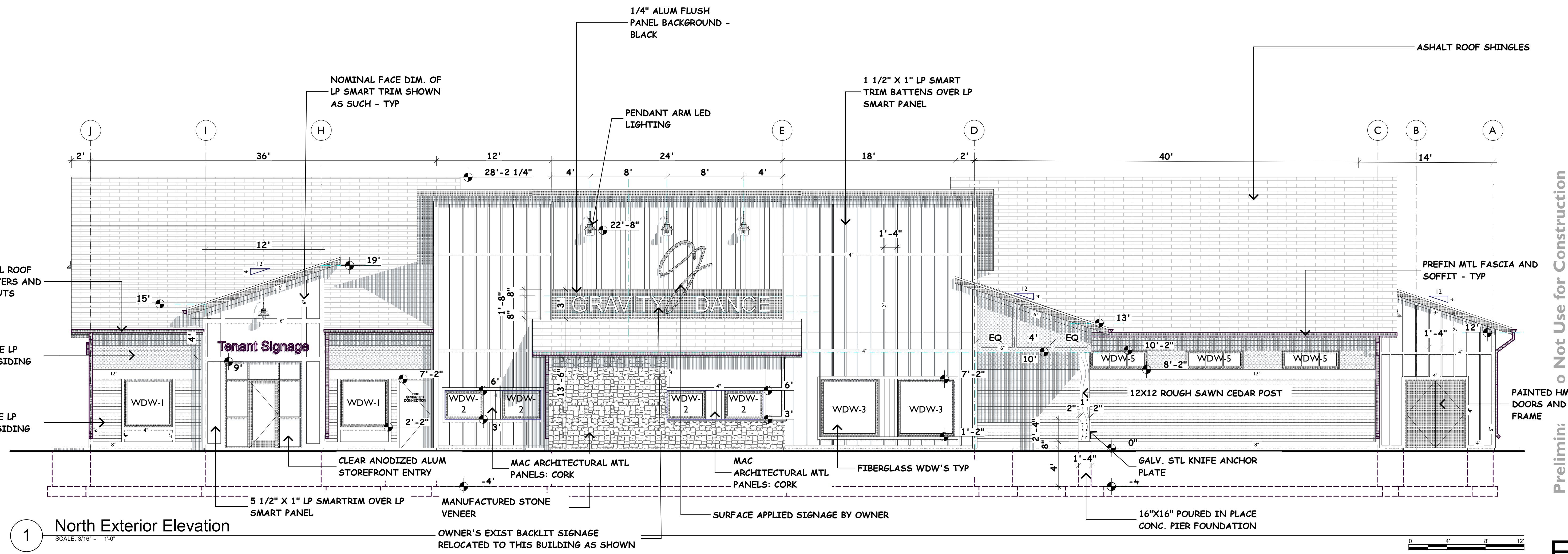




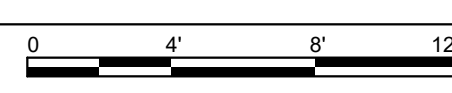
**2** South Exterior Elevation  
SCALE: 3/16" = 1'-0"



SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



**1** North Exterior Elevation  
SCALE: 3/16" = 1'-0"



Prelimin: o Not Use for Construction

**Gravity Dance Studio**  
 New Building Built to Suite by Axys Construction  
 New Corner of Labeaux Avenue NE & County Road 37 NE  
 Albertville, MN 55301

**A2.I**

**Exhibit G**

ALL TRIM TO BE LP CAVERN STEEL UNLESS NOTED OR SHOWN OTHERWISE



LP 6" CEDARMILL LAP SIDING  
COLOR: TERRA BROWN

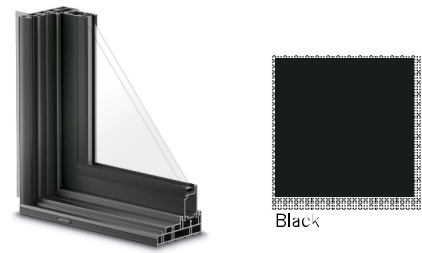


LP 4" CEDARMILL LAP SIDING  
COLOR: CAVERN STEEL

LP CEDARMILL SMART PANEL  
COLOR: CAVERN STEEL



LP CEDARMILL SMART PANEL W/  
1"X 1 1/2" BATTENS @ 16" O.C.  
PANNEL AND BATTEN COLOR:  
ABYSS BLACK



FIBERGLASS WINDOWS  
ANDERSON 100 SERIES FIBREX  
COLOR: BLACK



MAC ARCHITECTURAL MTL  
PANELS. HARRYWOOD PROFILE.  
6 1/16" X 3/8" X 12' PANELS.  
COLOR/ PATTERN: CORK



LP CEDARMILL SMART PANEL W/  
1"X5 1/2" BATTENS AS SHOWN



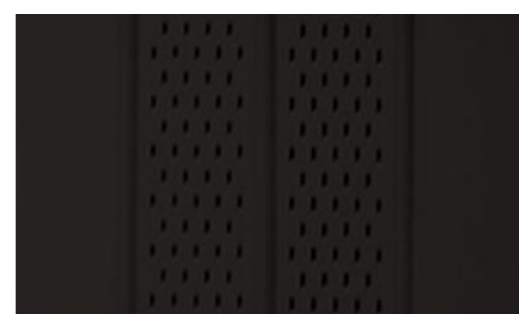
ALUM STOREFRONTS  
BLACK ANODIZED  
FINISH



MAC ARCHITECTURAL METAL  
PANELS. HARRYWOOD  
PROFILE. 6 1/16" X 3/8" X  
12' PANELS. COLOR/  
PATTERN: BLACK WALNUT



FIBERGLASS SHINGLES  
GAF TIMBERLINE HD  
SHINGLES  
COLOR: CHARCOAL



PREFIN MTL ROOF SOFFITS,  
FASCIAS, DRIP CAPS, RAIN  
GUTTERS, DOWNSPOUTS AND  
MISC. BREAK MTL. EDCCO COLOR:  
BLACK



MANUFACTURED STONE  
VENEER  
BOULDER CREEK. VERIFY  
PROFILE AND COLOR



4 24009 Axys Gravity Dance Studio 07-04-24 - East Color Elevation  
SCALE: 1:0.94



3 24009 Axys Gravity Dance Studio 07-04-24 - West Color Elevation  
SCALE: 1:0.84



2 24009 Axys Gravity Dance Studio 07-04-24 - South Color Elevation  
SCALE: 1:0.53



1 24009 Axys Gravity Dance Studio 07-04-24 - North Color Elevation  
SCALE: 1:0.53

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

Preliminary Do Not Use for Construction

**Gravity Dance Studio**  
New Building Built to Suite by Axys Construction  
New Corner of Labeaux Avenue NE & County Road 37 NE  
Albertville, MN 55301

**A0.1**

Exhibit H

**PLANNING REPORT**

TO: Adam Nafstad  
FROM: Alan Brixius  
DATE: August 1, 2024  
RE: Shoppes at Prairie Run – Si Senior Restaurant  
FILE NO: 163.06 24.06

**BACKGROUND**

Heidi Ortiz has submitted a development application for an amendment to the Shoppes of Prairie Run Planned Unit Development to allow for the construction of a 4832 sq. ft. restaurant and 2395 sq. ft. adjacent tenant bay on lot 1, Block 2 Shoppes at Prairie Run 2.

The Shoppes of Prairie Run Planned Unit Development and Plat was approved in 2004, to allow for two identical 12,000 sq. ft. multiple tenant commercial buildings. The southern building was constructed, however, the north building never proceeded. The current proposal changes the building configuration and site design for Lot 1, Block 2, Shoppes at Prairie Run 2 requiring a PUD Amendment.

This report is an analysis of the new site plan against the past PUD approval and the City zoning standards.

**EXHIBITS**

- Exhibit A: Boundary Survey and Topography
- Exhibit B: Site Plan
- Exhibit C: Truck Movement plan
- Exhibit D: Grading Plan
- Exhibit E: Utility Plan
- Exhibit F: Landscape Plan
- Exhibit G: Building Footprint
- Exhibit H: Building Elevations
- Exhibit I: Building Renderings.

**ANALYSIS**

**Zoning:** The site is zoned B-2 Limited Business District. Within the B-2 district, offices and retail businesses are permitted uses. Restaurants and outdoor dining are allowed by conditional use permit.

**Lot Size and Setbacks:** The following table compares the proposed site plan with the B-2 zoning district lot size and setback requirements. The lot and building setbacks exceed all the B-2 Zoning district requirements.

B-2 District Standards	Required	Proposed	Compliance
Lot Area	10,000 sq. ft.	61,200 sq. ft.	Yes
Lot Width	100 ft.	360 ft.	Yes
Setbacks			
Front (East)	35 ft.	58.8 ft.	Yes
Side (North)	10 ft.	83.3 ft.	Yes
Side (South)	10 ft.	160 ft.	Yes
Rear (West)	20 ft.	36.2 ft.	Yes

**Parking:** Consistent with the original approved Shoppes at Prairie Run PUD site plan, the current site plan integrates the parking lot with the property to the south through shared access and interconnected parking lots. Site access is via two curb cuts from Kyler Avenue.

The zoning code requires the following parking counts for the proposed uses.

**Restaurant:**

Dining: 1 space per 40 sq. ft. of gross floor area.

Indoor dining: (1,923/40 = 48 spaces)

Outdoor dining: (96/40 = 22 spaces)

Kitchen: 1 space per 80 sq. ft. of gross floor area.

Kitchen area 1476 – cooler and storage 153 = 1323 sq. ft.

(1,323/80 = 17 spaces)

Retail: 1 space per 200 sq. ft of floor area (2395 x .9 = 2,154/200 = 11 spaces)

Total Parking Count Required: 98 spaces

Total Parking Count Provided: 93 spaces

By ordinance, the new development requires 98 parking stalls. The site plan provides 93 parking stalls. In the past, the City has approved a slight reduction in parking for outdoor dining recognizing that this is seasonal dining which does not create a full time demand for parking. The proposed site provides 93 parking stalls and has access to additional parking to the south. In this light, staff recommends approval of PUD flexibility for 93 parking stalls.

The site plan shows properly dimensioned parking stalls and drive aisles per code requirements. The parking lot meets the City standards with regard to setbacks, paving, striping and perimeter curbing. The site plan has the proper number and design of disability parking spaces.

**Loading:** The Applicant has provided a site plan showing delivery truck movements through the site. Restaurant deliveries are proposed be received at the front of the building with a WB-40 semi-truck and trailer. The truck movements plan shows that the truck can move through the site, however, the truck jumps the curb island on the north end of the parking lot. Increasing the curb radii will ease this truck movement.

The plan shows the movements for a 40 foot garbage truck accessing and egressing the trash enclosure. The plan illustrates that the garbage truck movements will interfere with parking stalls, curb islands and moves into the building to the south. The plan must be revised to accommodate garbage truck movements through the site.

**Restaurants without drive-through facilities** are allowed in the B-2 provided, that:

1. The site abuts a collector or minor arterial street or is included within an approved shopping center.

**Comment:** The site abuts County 19 which meets this requirement

2. A buffer yard of twenty feet (20') in width shall be provided at the boundaries abutting an R district in accordance with section [1000.7](#) of this ordinance.

**Comment:** The site does not abut a residential zoning district.

3. The operation shall be responsible for litter control on the site, which is to occur on a daily basis. Trash receptacles shall be screened.

**Comment:** The site provides for a trash enclosure on the south end of the site. The trash enclosure is designed to match the building. The site plan must be revised to accommodate garbage trucks through the site.

4. Outdoor dining facilities as regulated by this section.

**Comment:** See the following comments.

**Outdoor dining facilities** are allowed in the B-2 district provided that:

1. The applicant shall be required to submit a site plan and other pertinent information demonstrating the number, location and type of all tables, refuse receptacles, and wait stations.

**Comment:** The attached Exhibit G building floor plan shows the layout of the proposed outdoor dining area including access, aisles, table placement and total seating. Eight tables are proposed for the outdoor dining area with a total seating for 64 people.

2. Access to the dining area shall be provided only via the principal building if the dining area is a full-service restaurant or tavern, including table waiting service. All exit gates shall be marked "Exit Only" and shall meet all building code requirements.

**Comment:** The building plan provides a door access directly into the outdoor dining area. This is required to control access into the dining area for the service of food and alcoholic beverages. Both of the outdoor dining areas must be segregated from the main entrance via a fence to control access into the outdoor areas having liquor consumption.

3. The size of the dining area is restricted to twenty percent (20%) of the gross area of the current building and shall maintain the lot requirements of the district.

**Comment:** The proposed dining area is 1105 sq. ft. in an area exclusive of the pathway to the main restaurant entrance. The dining area comprises approximately 23% of the floor area of the restaurant bay. However, the code allows the dining area to be 20% of the gross floor space of the current building. The entire building is 7,227 sq. ft. in floor area. The proposed dining area is 15.2% of the total building. The northern tenant bay is intended for retail or office use. The proposed outdoor dining area may be approved as a PUD flexibility with the condition that this outdoor dining area will limit the opportunities for additional outdoor dining on this site in the future.

4. The dining area is screened from view from adjacent residential uses.

**Comment:** The site does not abut any residential uses.

5. All lighting shall be hooded at ninety degrees (90°) and directed away from adjacent properties. No luminaries shall extend beyond the ninety-degree (90°) cutoff.

**Comment:** The outdoor dining will be within a covered patio at the front of the building. All lighting will be internal in the dining area. The building renderings show wall mounted exterior lights. The Applicant shall provide a detailed lighting and photometric plan including the number, location of all freestanding and wall mounted lights and details on the types of light fixtures and details of the pole design and height of freestanding lights.

6. No outdoor dining shall be allowed on the public sidewalk.

**Comment:** This requirement is not applicable to the site.

7. The dining area is surfaced with concrete bituminous or decorative pavers or may consist of a deck with wood or other flooring material that provides a clean, attractive, and functional surface.

**Comment:** This requirement is met.

8. A minimum width of thirty six inches (36") shall be provided within aisles of the outdoor dining area.

**Comment:** This requirement is met.

9. Off street parking shall be adequate for both indoor and outdoor seating areas.

**Comment:** Adequate parking is provided for both the indoor and outdoor seating areas.

10. Refuse containers are provided for self-service outdoor dining areas. Such containers shall be placed in a manner which does not disrupt pedestrian circulation and must be designed to prevent spillage and blowing litter.

11. Property owners shall pick up litter within one hundred feet (100') of the patio area.

**Comment:** Items 10 and 11 are addressed as the outdoor dining will be contained within a covered patio. The area will be policed and kept by wait staff.

12. Live outdoor music performance shall meet the requirements of section [5-5-3](#) of the city code.

**Comment:** This is not applicable.

13. Electronically amplified outdoor music, intercom, audio speakers, or other such noise generating devices may be allowed in the outdoor dining area, provided the lot on which the outdoor dining area is located doesn't abut a residential use or zoning district. The playing of outdoor music shall not become a nuisance as defined by Title 5, Chapter 1 of the Albertville City Code.

**Comment:** The site does not abut a residential district. Any noise issues would be subject to nuisance code requirements.

14. No outdoor bar, cooking facility, food preparation or holding area shall be established.

**Comment:** No outdoor cooking facilities are proposed with this application.

15. The City Council may limit the hours of operation.

**Comments:** The site is isolated from residential neighborhoods. No nuisance issues are anticipated. No restrictions on the hours of operation are recommended.

**Grading, Drainage and Wetlands:** Exhibit A, site survey shows a wetland on the north end of the site. Applicant must pursue WCA approvals for the mitigation of this wetland.

Grading and drainage plans shall be reviewed and approved by the City Engineer.

**Utility Plan:** In review of the utility plan, we offer the following comments.

1. The City Engineer shall review and approve the utility plan.
2. The building shall have separate potable water and fire suppression services going into the building.

**Landscape plan:** In review of the submitted landscape plans, we offer the following comments.

1. The landscape plan is generous in the number and types of plantings.
2. The plant sizes and species meet code requirements.
3. The landscape plan must identify snow storage areas to avoid damaging the landscape areas of the site.

**Building Design:** Within the B-2 zoning district, all building exterior wall finishes shall be constructed of materials containing only brick, dimension stone, glass, stucco and its replicas, wood, rock faced block, or precast concrete panels.

The building elevations illustrate the exterior building materials consisting of white EIFS with brick face accents. The patio roof will be metal. The building design is attractive and meets the B-2 district architectural requirements.

The building and site plan must show the locations of all ground and/or rooftop mounted mechanical equipment. Said mechanical equipment shall be screened from the adjoining streets and properties.

### **CONCLUSION.**

Based on our review of the Si Senor Mexican Restaurant conceptual building plans dated June 26, 2024, and Civil plans dated July 16, 2024, we recommend approval of the amendment to the Shoppes at Prairie Run CUP/PUD with the following conditions.

1. The City approves the parking count as illustrated on the site plan as condition of the PUD.
2. The plan must be revised to accommodate garbage truck movements through the site without interfering with on-site parking stalls or travelling over parking lot curbs.
3. The Applicant shall establish cross-access easement between Lots 1 and 2, Block 1, Shoppes at Prairie Run 2 to provide shared access through these lots. Said cross-access easement shall be approved by the City Attorney and recorded with the County.
4. The outdoor dining area is approved as being 20% or less than the entire building's total floor area. This will be counted against any future outdoor dining areas requested for the building.
5. The outdoor dining areas must be segregated from the pathway to the main entrance. Access to the outdoor dining areas shall be provided only via the principal building if the dining area is a full-service restaurant or tavern, including table waiting service. All exit gates from the outdoor dining area shall be marked "Exit Only" and shall meet all building codes.
6. The Applicant shall provide a detailed lighting and photometric plan including the number, location of all freestanding and wall mounted lights and details on the types of light fixtures and details of the pole design and height of freestanding lights.
7. Applicant shall provide documentation of WCA approval of the wetland mitigation for the site.
8. Grading, Drainage and Utility plans shall be reviewed and approved by the City Engineer.
9. Water services shall be divided outside the building for potable water supply and fire suppression.



10. The site and building plans shall show the location and screening of ground mounted or rooftop mechanical equipment.

Cc. Kris Luedke  
Maeghan Becker  
Kevin Benshoof  
Heidi Ortiz

Call 48 Hours before digging:  
811 or call811.com  
Common Ground Alliance

DESIGNED:	AKW
CHECKED:	GAS
DRAWN:	AKW
HORIZONTAL SCALE:	30'
VERTICAL SCALE:	6" = 3'

PREPARED FOR:  
**THIELEN & GREEN**  
7455 VILLAGE DR. STE. 110  
LINO LAKES, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MINNESOTA.  
**JEFF WILSON** SURVEYOR  
07/16/2024 LICENSE NO. 44019

**SI SENIOR RESTAURANT**  
ALBERTVILLE, MN

**Westwood**  
Professional Services, Inc.  
12751 Winnetka Drive, Suite #300  
Minnetonka, MN 55343  
Phone: (888) 937-5150  
Fax: (888) 937-5150  
Toll Free: (888) 937-5150  
westwoodps.com

**BOUNDARY AND TOPO SURVEY**

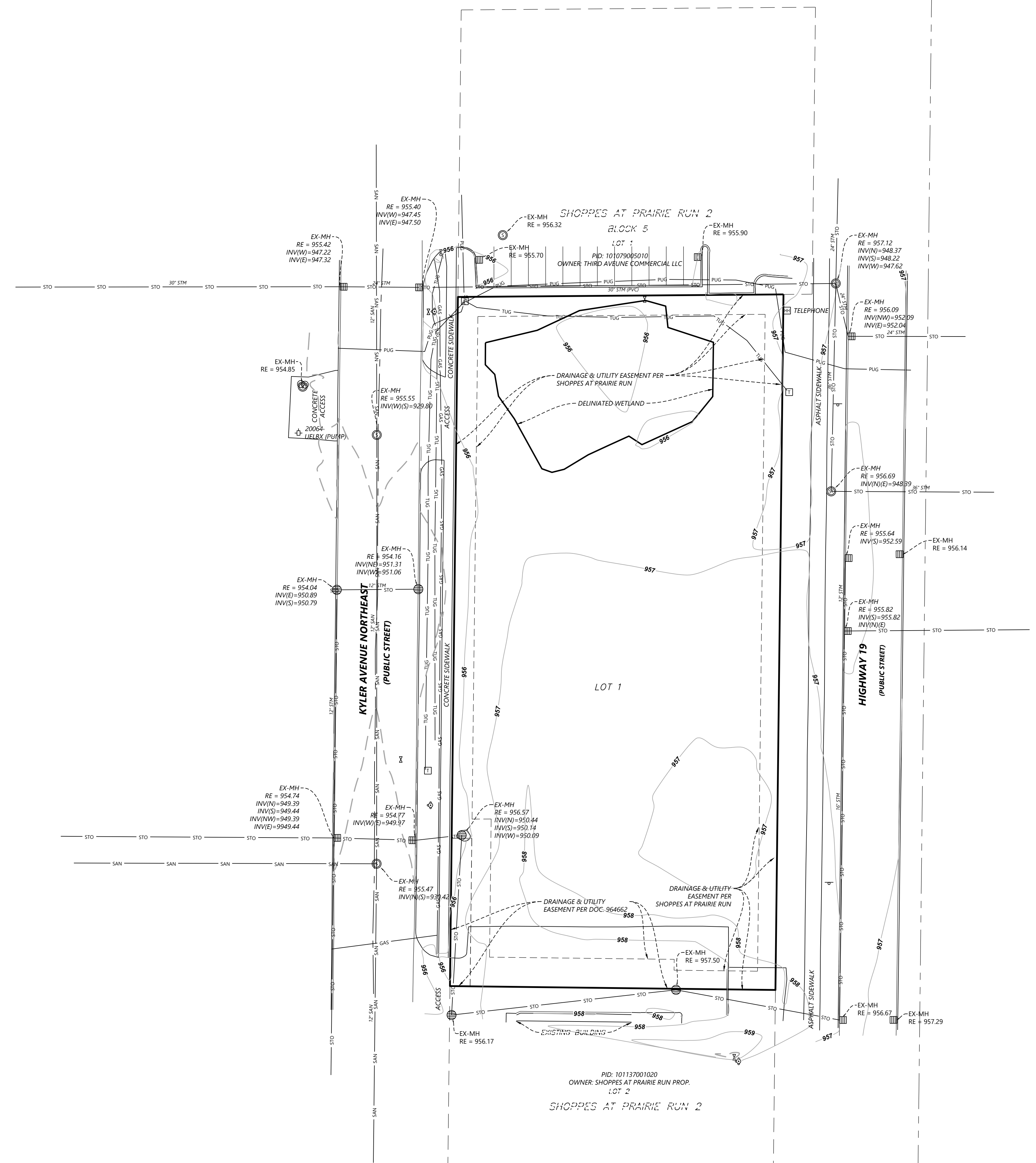
SHEET NUMBER:

**C002**

DATE: 07/16/2024

PROJECT NUMBER: 0051896.00

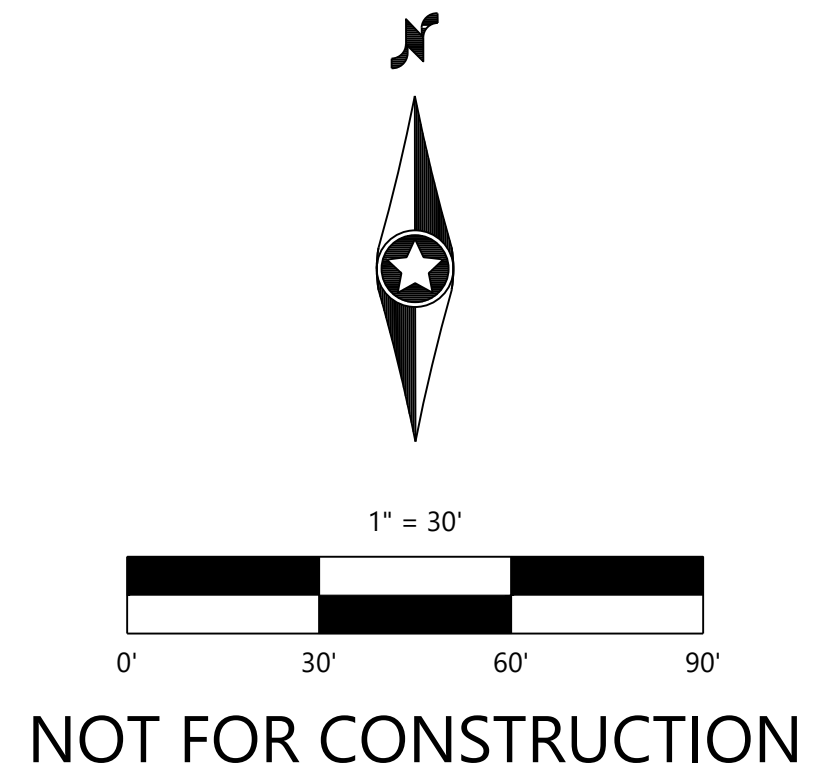
SI SENIOR RESTAURANT

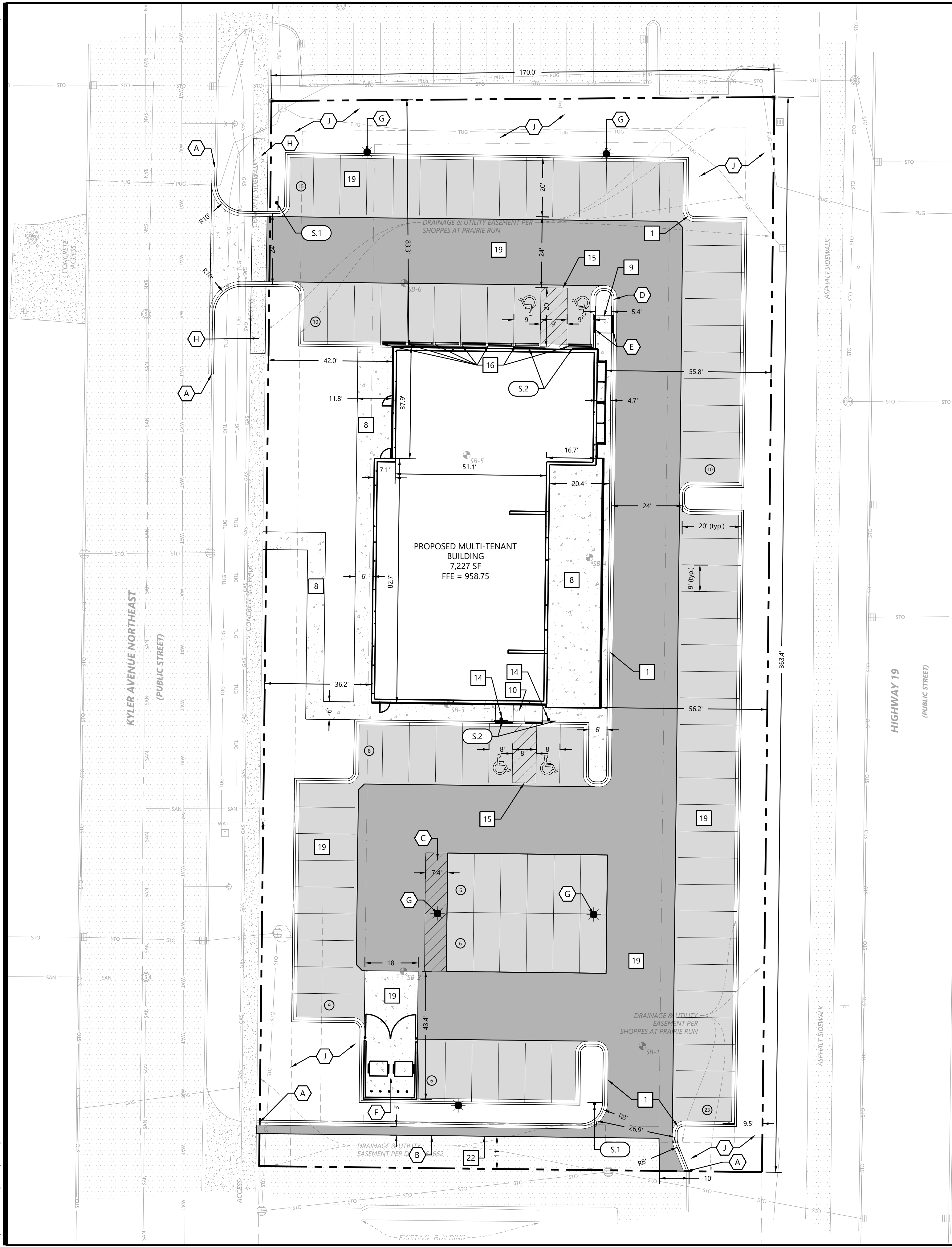


**LEGAL DESCRIPTION**

SECT-02 TWP-120 RANGE-024 SHOPPES AT PRAIRIE RUN 2 LOT-001 BLOCK-001\*  
\*RETRIEVED FROM WRIGHT COUNTY WEBSITE 07/15/2024

Exhibit A





Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

### SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING SPACES
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	BOLLARD / POST
---	---	CONCRETE WHEEL STOP

### S.10 SIGN LEGEND

REFERENCE	SIZE	MnDOT DESIGNATION
S.1	30" X 30"	R1-1
S.2	12" X 18"	R7-8M

### 1 SITE DETAILS (SI-0XX)

- 1 B612 CURB AND GUTTER
- 8 PRIVATE CONCRETE SIDEWALK
- 9 PRIVATE PEDESTRIAN CURB RAMP
- 10 PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- 14 SIGN INSTALLATION
- 15 HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- 16 PRECAST CONCRETE WHEEL STOP
- 19 PAVEMENT SECTIONS
- 22 SAW CUT CONTROL JOINT

### A SITE KEYNOTES

- A MATCH EXISTING CURB
- B MATCH EXISTING ASPHALT PAVEMENT WITH SAWCUT
- C PAINT 4" WHITE DIAGONAL STRIPING
- D FLUSH CURB
- E TRANSITION CURB
- F TRASH ENCLOSURE (SEE ARCH. PLANS)
- G LIGHT POLE (SEE PHOTOMETRIC PLANS)
- H RECONSTRUCT SIDEWALK PER CITY STANDARDS
- J SNOW STORAGE AREA

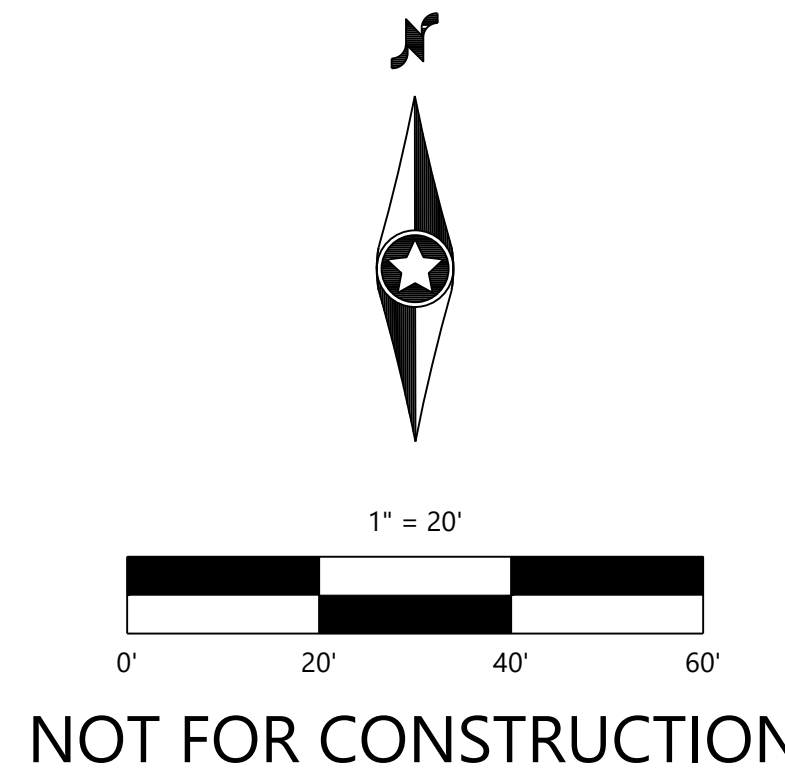
### SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	B-2, LIMITED BUSINESS DISTRICT
PROPOSED ZONING:	B-2, LIMITED BUSINESS DISTRICT
PARCEL DESCRIPTION:	LOT 101137001010
PROPERTY AREA:	61,488 SF (1.41 AC)
EXISTING IMPERVIOUS SURFACE:	4,503 SF (7.32%)
PROPOSED IMPERVIOUS SURFACE:	46,078 SF (74.94%)
BUILDING GROSS SIZE:	7,227 SF
RETAIL:	2,395 SF
RESTAURANT:	4,832 SF
FLOOR-AREA-RATIO(FAR):	0.12
BUILDING SETBACK PER CODE:	35'=FRONT 10'=SIDE / 20'=SIDE TO ROW 20'=REAR
PARKING SETBACK:	15'=STREET SURFACE
PARKING SPACE/DRIVE AISLE:	9' WIDE X 20' LONG, 24' AISLE
PARKING RATIO REQUIREMENT:	CITY OF ALBERTVILLE, MN
RETAIL:	11,975 SPACES
RESTAURANT:	1 SPACE / 200 SF OF BLDG 1 SPACE / 40 SF OF DINING AREA 1 SPACE / 80 SF OF KITCHEN AREA
RETAIL(2,395/200):	48.075 SPACES
RESTAURANT DINING INDOOR (1,923/40):	18.45 SPACES
RESTAURANT KITCHEN (1,476/80):	79 SPACES (11,975+48.075+118.45=78.5)
TOTAL SPACES REQUIRED:	
PARKING PROVIDED:	93

### GENERAL SITE NOTES

1. BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN; JUNE 03, 2024.
2. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
4. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMP, AND TRUCK DOCKS.
6. ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
7. ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
9. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
10. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
11. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

Exhibit B



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4' @ 2"

PREPARED FOR:  
**THIELEN & GREEN**  
 7455 VILLAGE DR. STE. 110  
 LINO LAKES, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 GRETCHEN SCHROEDER  
 07/16/2024, LICENSE NO. 43019

**SI SENIOR RESTAURANT**  
 ALBERTVILLE, MN

**Westwood**  
 (862) 897-5150 12701 Winthrop Drive, Suite #200  
 (862) 897-5822 Minnetonka, MN 55343  
 (888) 937-5150 westwoodps.com  
 Toll Free Westwood Professional Services, Inc.

SITE PLAN

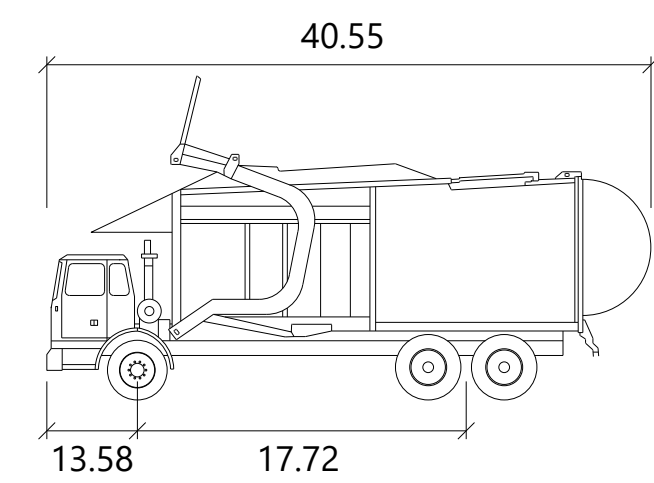
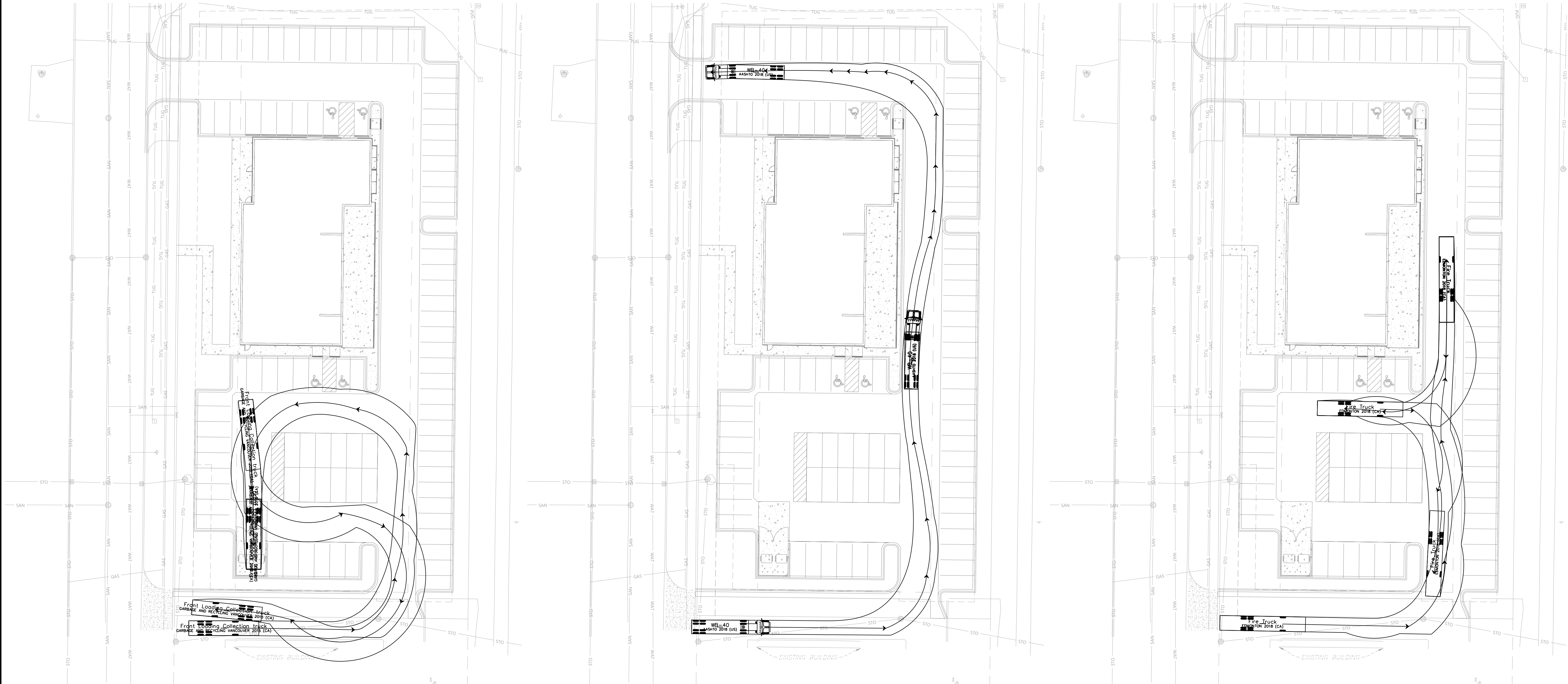
SHEET NUMBER:

**C200**

DATE: 07/16/2024

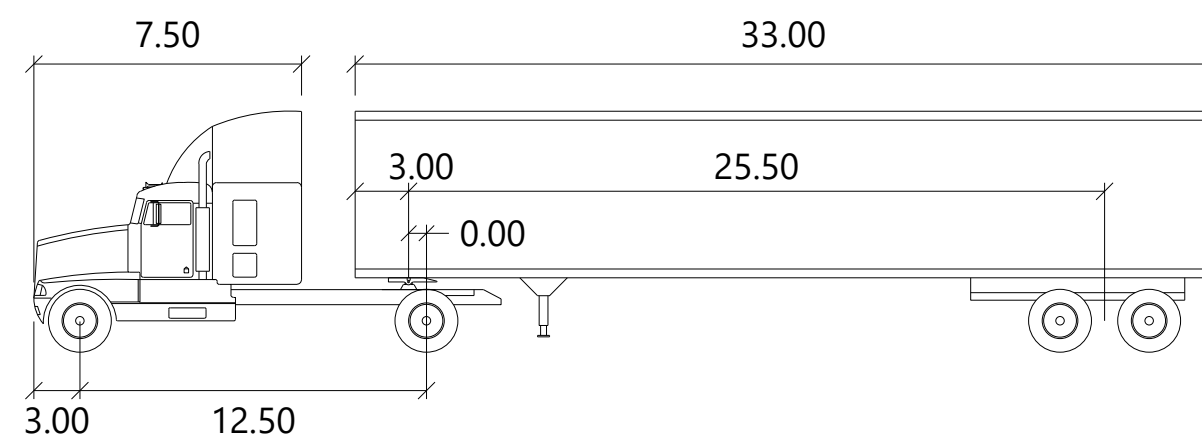
PROJECT NUMBER: 0051896.00

Call 48 Hours before digging:  
811 or call811.com  
Common Ground Alliance



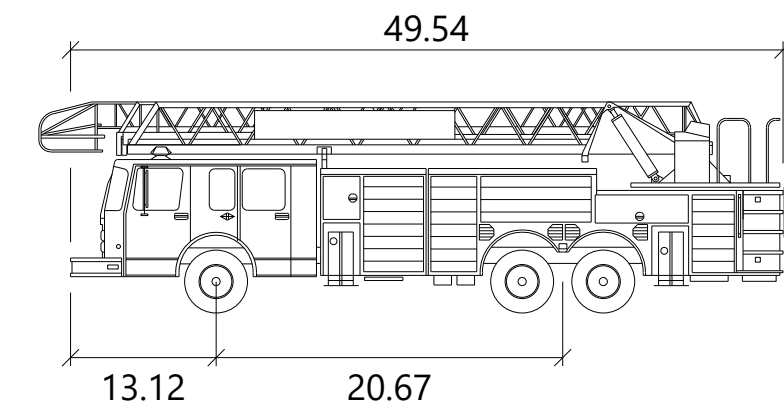
Front Loading Collection truck

feet	
Width	: 8.53
Track	: 8.53
Lock to Lock Time	: 6.0
Steering Angle	: 27.7



WB-40

feet			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

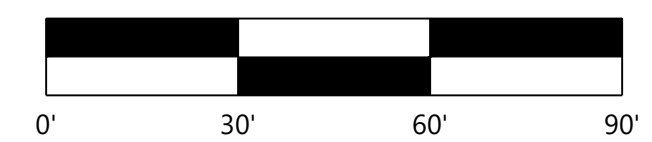


Fire Truck

feet	
Width	: 8.53
Track	: 8.53
Lock to Lock Time	: 6.0
Steering Angle	: 32.6



1" = 30'



# Exhibit C

NOT FOR CONSTRUCTION

DESIGNED:	AKW
CHECKED:	GAS
DRAWN:	AKW
HORIZONTAL SCALE: 30'	
VERTICAL SCALE: 6" OF 1"	

PREPARED FOR:  
**THIELEN & GREEN**  
7455 VILLAGE DR. STE. 110  
LINO LAKES, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.  
**JEFF WOBENKE** REGISTERED ENGINEER  
07/16/2024 LICENSE NO. 44019

**SI SENIOR RESTAURANT**  
ALBERTVILLE, MN

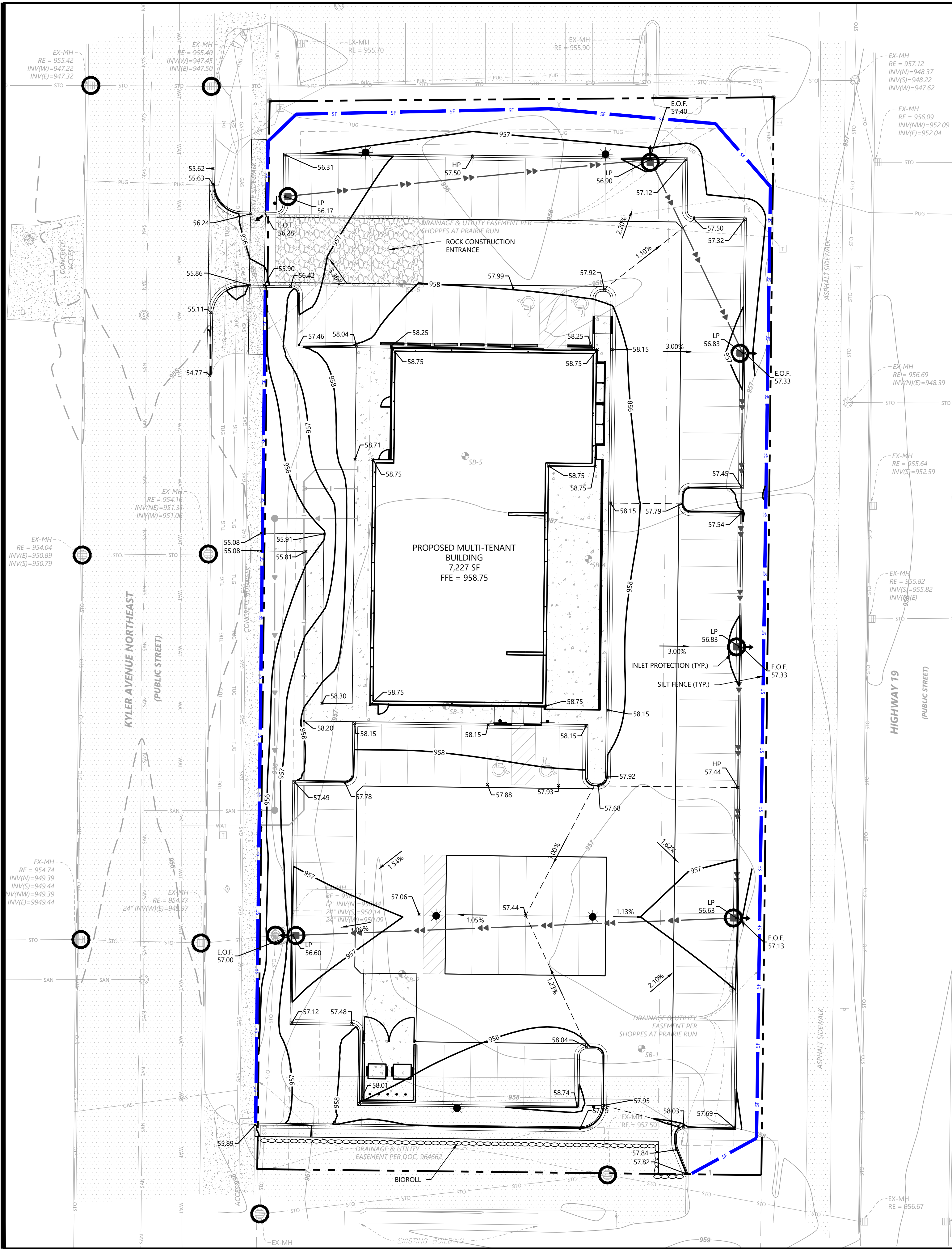
**Westwood**  
12701 Winnetka Drive, Suite #300  
Minnetonka, MN 55343  
Phone: (888) 937-5150  
Fax: (888) 937-5150  
Toll Free: (888) 937-5150  
westwoodps.com  
Westwood Professional Services, Inc.

**TURN MOVEMENTS**

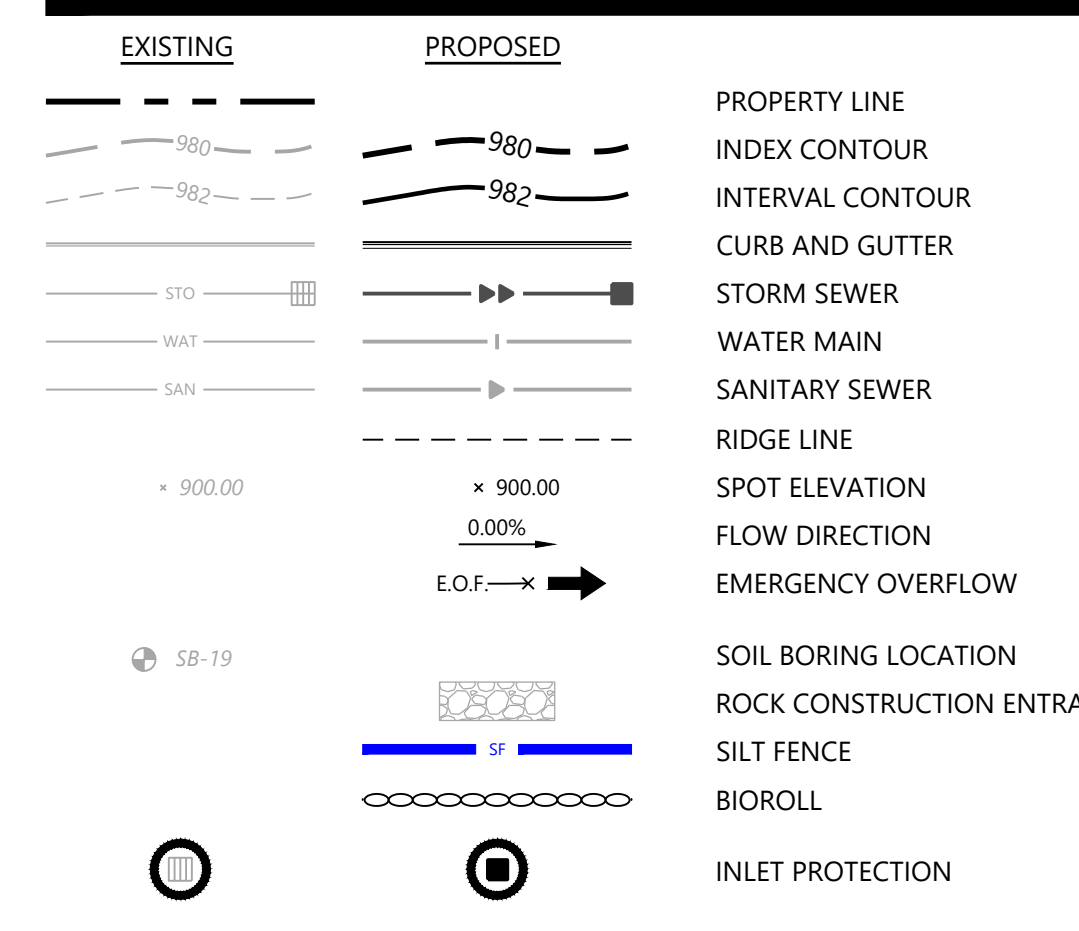
SHEET NUMBER:  
**XB100**

DATE: 07/16/2024  
PROJECT NUMBER: 0051896.00

SI SENIOR RESTAURANT



### GRADING LEGEND



### GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

### GENERAL EROSION CONTROL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
- WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
  - TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
  - TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE
  - INFILTRATION/FILTRATION BASIN SHALL BE MNDOT SEED MIX 34-262 AT 14.5-POUNDS PER ACRE.
  - POND SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
  - GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
  - MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.

Call 48 Hours before digging:  
 811 or call811.com  
 Common Ground Alliance

DESIGNED:	07/16/2024
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4' OF 2'

PREPARED FOR:  
**THIELEN & GREEN**  
 7455 VILLAGE DR. STE. 110  
 LINO LAKE, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 GRETCHEN SCHROEDER  
 07/16/2024, LICENSE NO. 43019

**SI SENIOR RESTAURANT**  
 ALBERTVILLE, MN

**Westwood**  
 (825) 837-5150 12701 Whitehawk Drive, Suite #800  
 Phone (825) 837-5922 Minneapolis, MN 55343  
 Fax (888) 937-5150 westwoodps.com  
 Toll Free Westwood Professional Services, Inc.

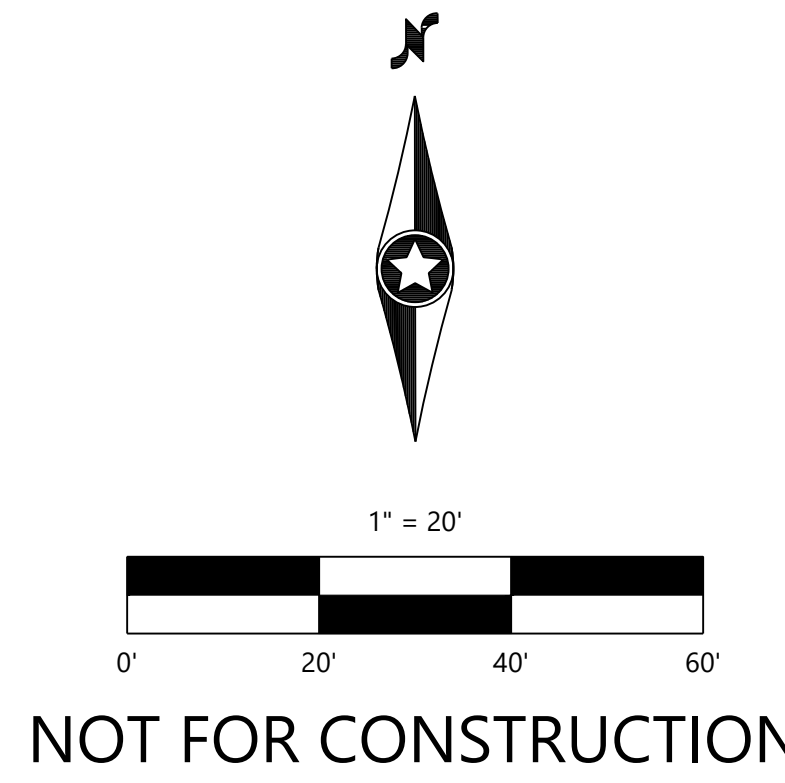
**GRADING & EROSION CONTROL PLAN**

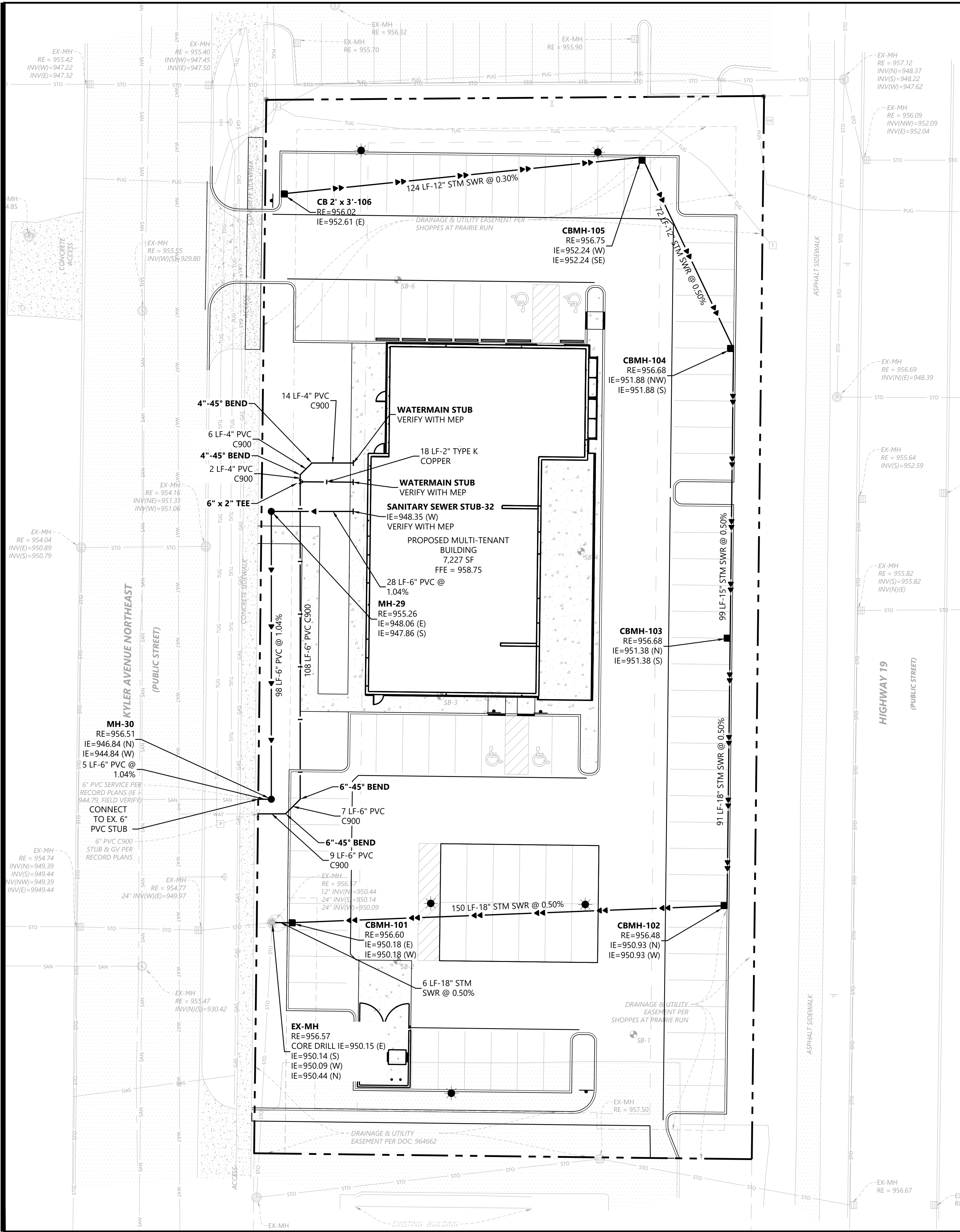
SHEET NUMBER:

**C300**

DATE: 07/16/2024  
 PROJECT NUMBER: 0051896.00

Exhibit D





### UTILITY LEGEND

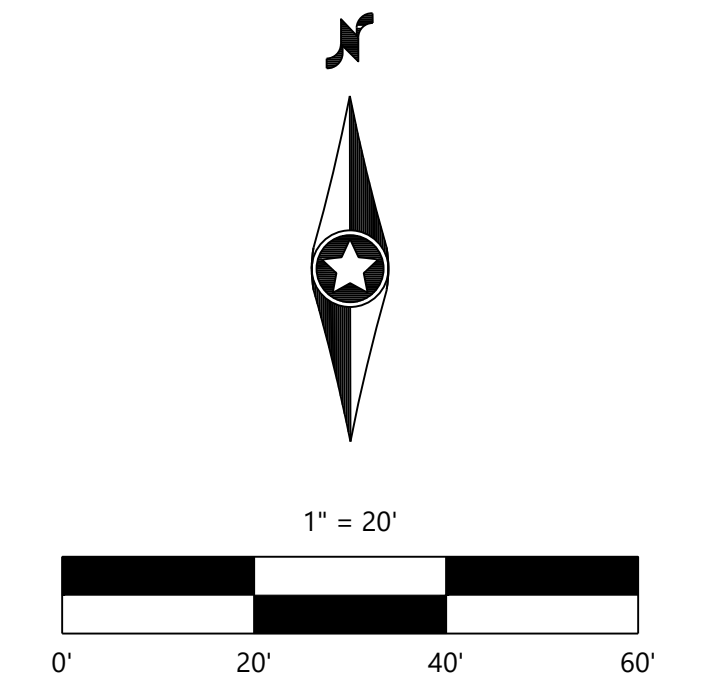
EXISTING	PROPOSED	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	GATE VALVE
---	---	LIGHT POLE

### GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE LARGE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE LOCAL JURISDICTION AND MINNESOTA PLUMBING CODE. ALL SMALL / DRY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER AND WATER LINES SHALL CROSS ABOVE ANY SEWER. IF THIS IS NOT ACHIEVABLE, SANITARY AND STORM SEWER SHALL BE CONSTRUCTED OF A MATERIAL APPROVED FOR USE WITHIN A BUILDING AND AS LISTED IN TABLE 701.2 OF THE MINNESOTA PLUMBING CODE. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 8' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE AND NOT WITHIN 10' OF WATER LINE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY AND STORM SEWER PIPE WITHIN 10 FEET OF THE BUILDING AND UNDER FOOTINGS, AND WITHIN 10 FEET OF WATER LINE SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE:
  - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY OR MN DEPARTMENT OF LABOR.
  - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
- HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
- PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
- CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
- ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA PLUMBING CODE 604.10.1.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCVS2 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.

Call 48 Hours before digging:  
811 or call811.com  
Common Ground Alliance

# Exhibit E



DESIGNED:	07/16/2024
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4" = 2'

PREPARED FOR:  
**THIELEN & GREEN**  
7455 VILLAGE DR. STE. 110  
LINO LAKES, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
GRETCHEN SCHROEDER  
07/16/2024, LICENSE NO. 43019

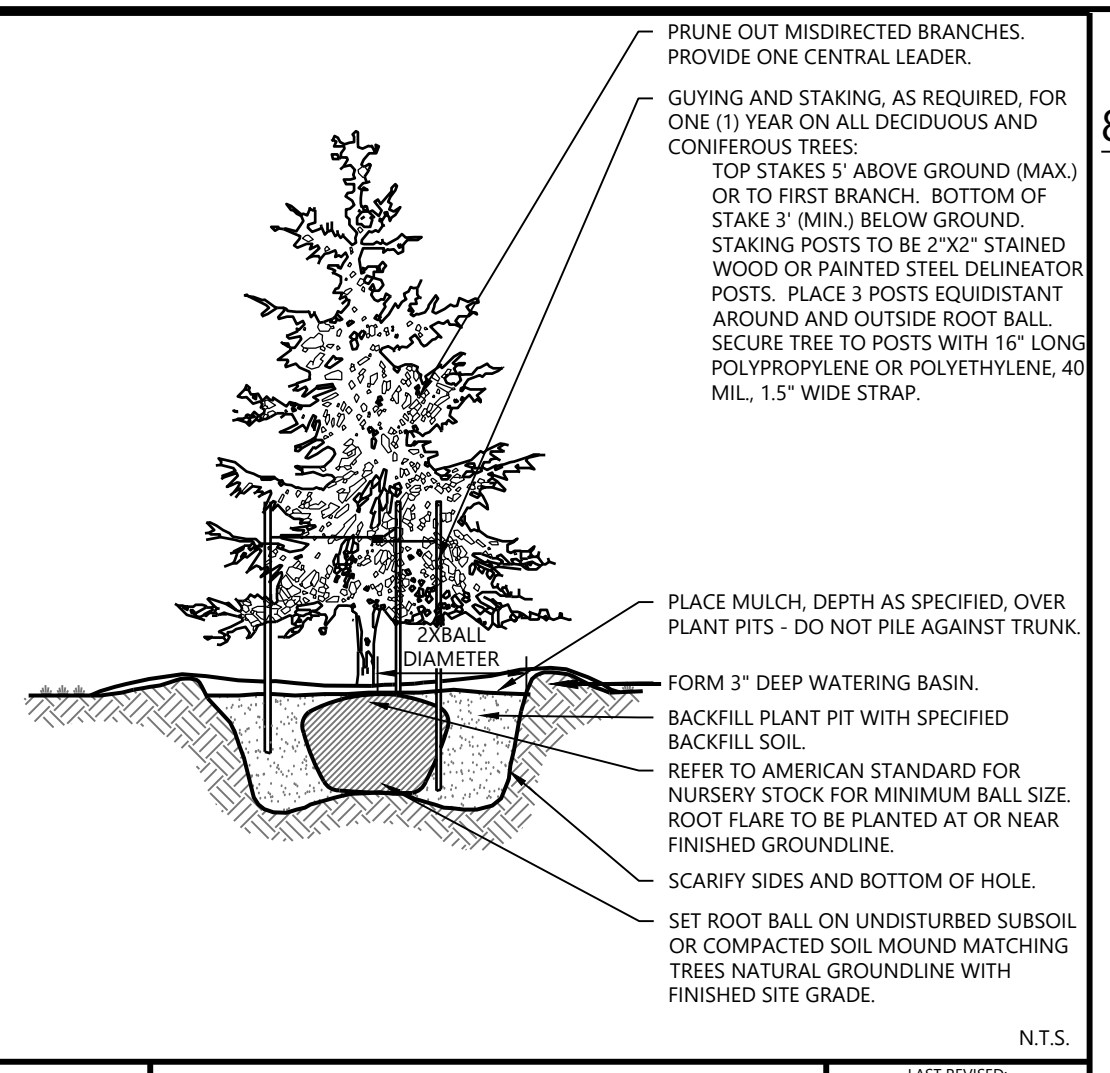
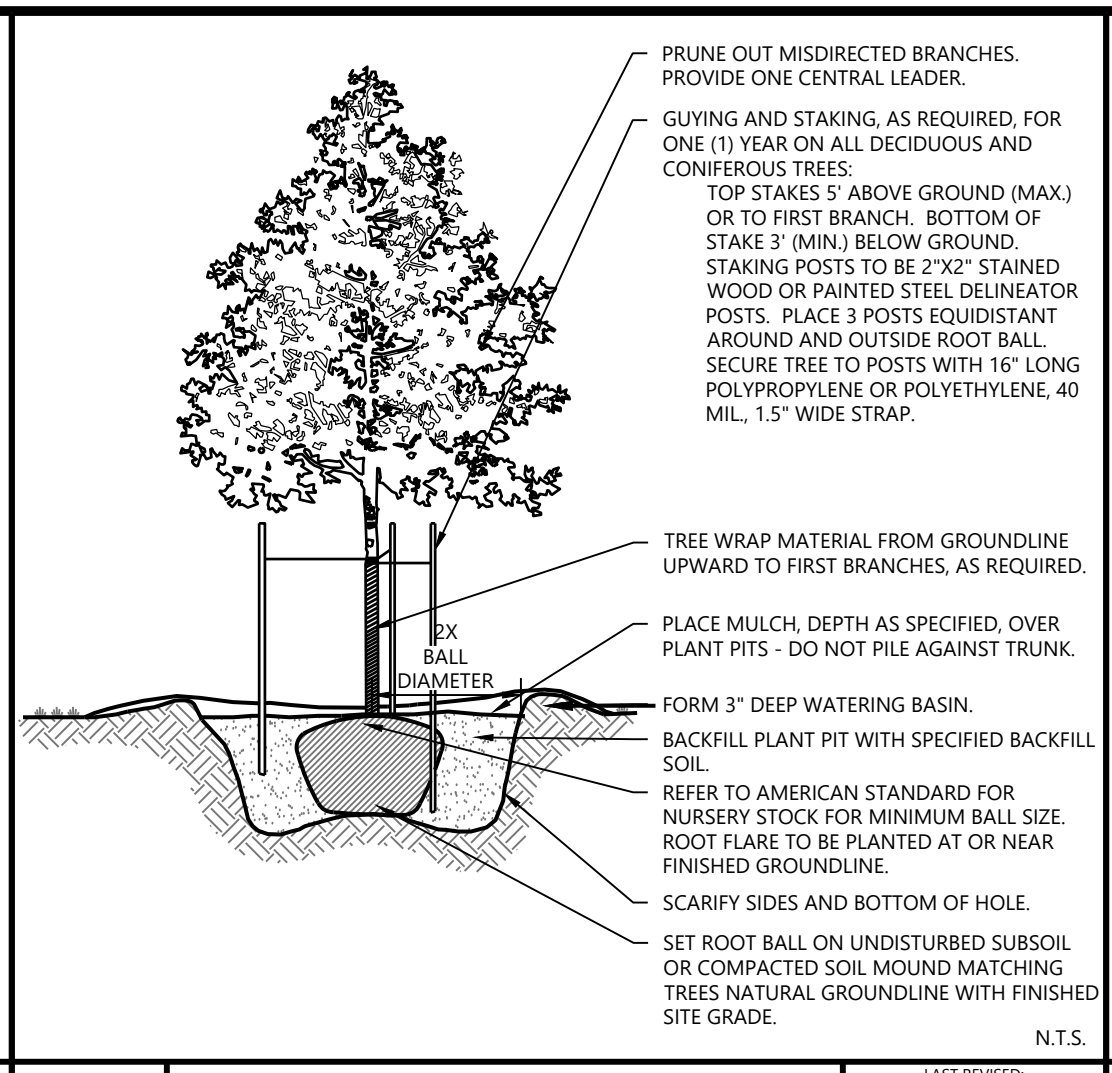
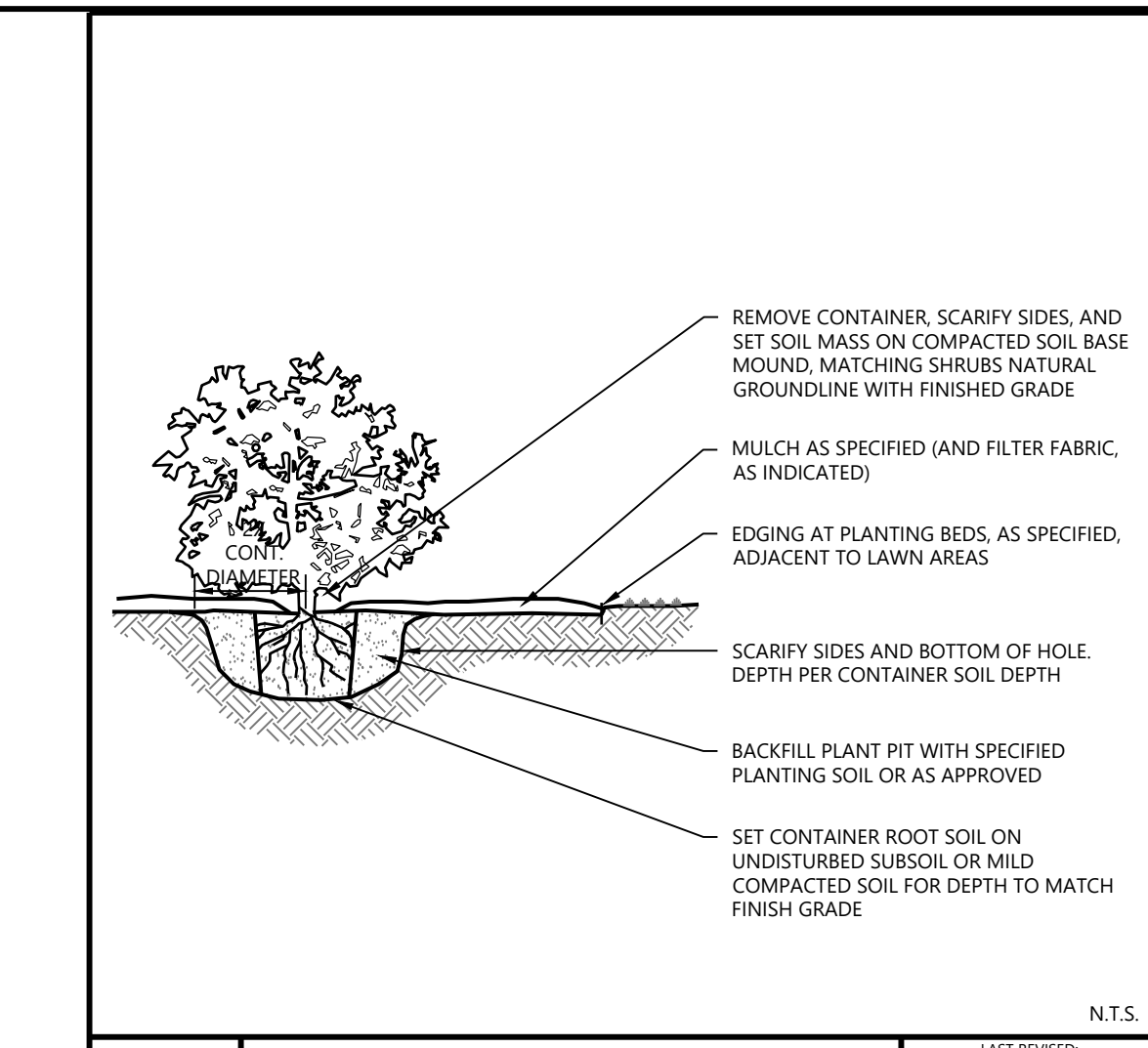
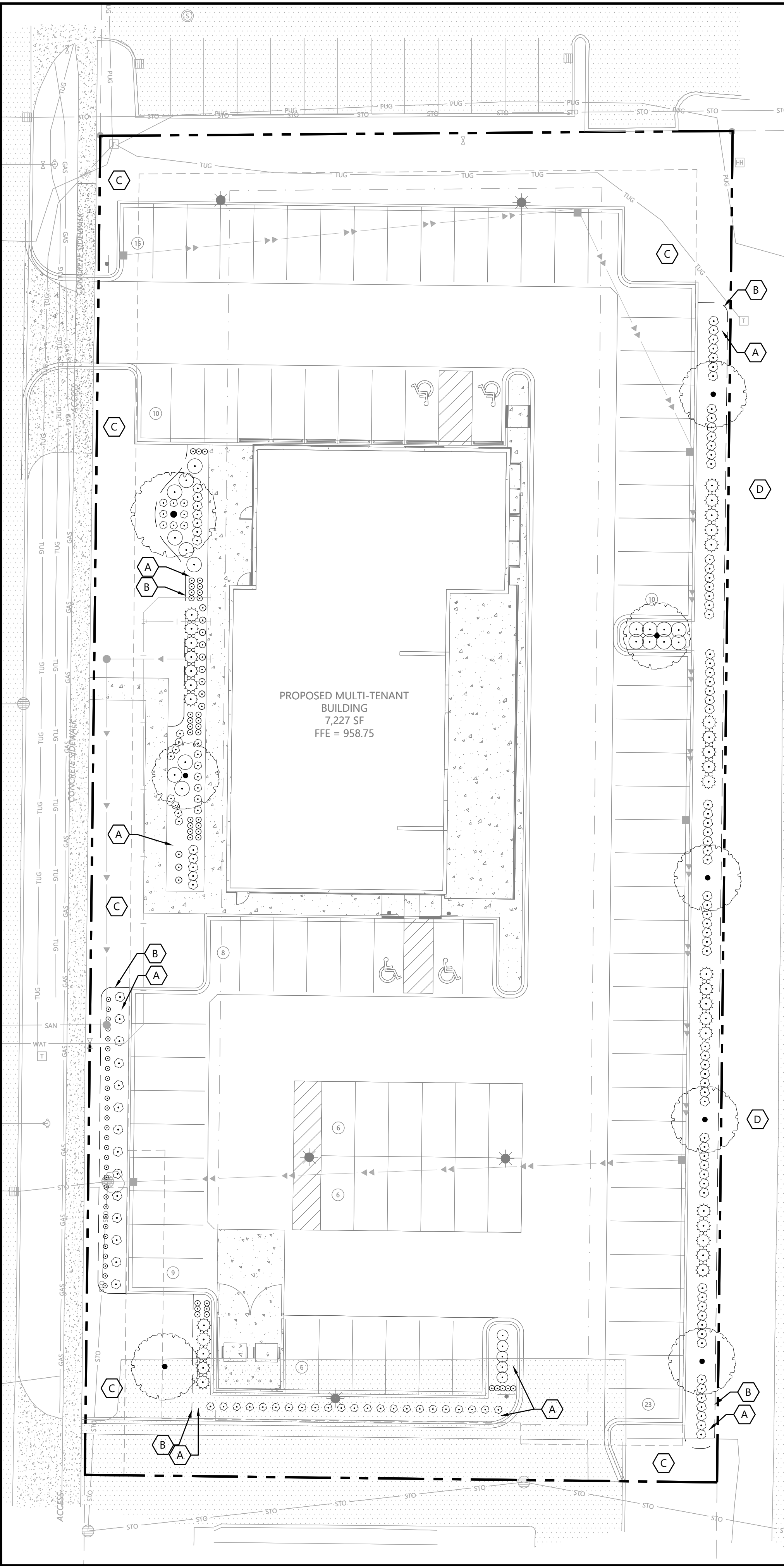
**SI SENIOR RESTAURANT**  
ALBERTVILLE, MN

**Westwood**  
Professional Services, Inc.  
12701 Whitehawk Drive, Suite #800  
Minnetonka, MN 55343  
Phone: (882) 837-5150  
Fax: (882) 837-5822  
Toll Free: (888) 937-5150  
westwoodps.com

**UTILITY PLAN**

SHEET NUMBER:  
**C400**

DATE: 07/16/2024  
PROJECT NUMBER: 0051896.00



Westwood	SHRUB & PERENNIAL CONTAINER PLANTING	LAST REVISED: 10/23/18	Westwood	DECIDUOUS TREE PLANTING	LAST REVISED: 10/19/18	Westwood	EVERGREEN TREE PLANTING	LAST REVISED: 10/19/18
	LA27-C			LA28			LA29	

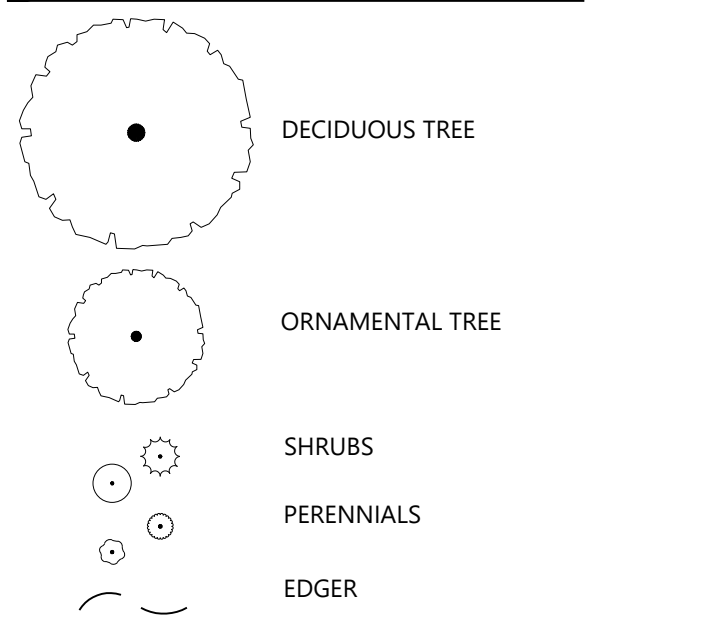
**LANDSCAPE KEYNOTES**

- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)
- D GENERAL TURF SEED MIX

**COVERAGE AREA SUMMARY**

IMPERVIOUS SURFACE (75%):	46,078 SF (1.06 AC)
LANDSCAPED GREEN SPACE (25%):	15,410 SF (.35 AC)

**LANDSCAPE LEGEND**



**SEEDING NOTES**

**GENERAL TURF SEED MIX**  
**SOUTHERN BOULEVARD (SB) / MN/DOT 25-131 LOW MAINTENANCE TURF** (OR A MIX COMPRISED OF SIMILAR VARIETIES OF GRASSES TO BE APPROVED BY LANDSCAPE ARCHITECT). SEED MIX AVAILABLE FROM TWIN CITIES SEED COMPANIES (twincityseed.com, 1.800.545.TURF)  
**SEED MIX TO BE APPLIED AT RATE RECOMMENDED BY SUPPLIER**  
 SEED MIX TO BE APPLIED DURING RECOMMENDED PLANTING SEASON, AND USING AN APPROVED METHOD, AS FOUND IN THE MN-DOT SEEDING MANUAL.

**LANDSCAPE SUMMARY**

**REQUIRED PLANTINGS:**  
 IN ADDITION TO REQUIRED GROUND COVER AND EXCLUSIVE OF BUFFERING OR SCREENING, ALL NEW RESIDENTIAL SUBDIVISIONS, SEMI-PUBLIC AND ALL INCOME PRODUCING PROPERTY USES SHALL BE LANDSCAPED USING ORNAMENTAL GRASS, SHRUBS, TREES, WITHIN ONE YEAR FOLLOWING THE DATE OF BUILDING OCCUPANCY.  
 • A MINIMUM OF ONE SHADE TREE OR EVERGREEN TREE SHALL BE PROVIDED PER NONRESIDENTIAL LOT.  
 • A MINIMUM OF SIXTEEN (16) ORNAMENTAL TREES OR SHRUBS SHALL BE PROVIDED PER STREET SIDE OF NONRESIDENTIAL LOTS.  
**INTERIOR PARKING LOT LANDSCAPING:**  
 • ALL PARKING LOTS SHALL BE DESIGNED TO INCORPORATE UNPAVED LANDSCAPE ISLANDS AS REQUIRED BY CITY.  
 • ALL LANDSCAPE ISLANDS SHALL BE PROVIDED WITH DECIDUOUS SHADE TREES, ORNAMENTAL OR EVERGREEN TREES, PLUS GROUND COVER, MULCH OR SHRUBBERY.  
 • WITHIN OFF STREET PARKING FACILITIES FOR COMMERCIAL USES OF FIFTY (50) OR MORE STALLS, IRRIGATED LANDSCAPE ISLANDS SHALL BE PROVIDED AT A RATE OF ONE HUNDRED EIGHTY (180) SQUARE FEET PER TWENTY FIVE (25) SURFACE STALLS OR FRACTION THEREOF.

++ CITY REQUIREMENTS MET ++

**PLANT SCHEDULE**

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.	MATURE SIZE
<b>DECIDUOUS TREES</b> 1					
AGG		AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2" CAL.	AS SHOWN	H 40-50' W 25-35'
<b>ORNAMENTAL TREES</b> 7					
TCH		THORNLESS COCKSPUR HAWTHORN / CRATAEGUS CRUS-GALLI INERMIS	1.5" CAL.	AS SHOWN	H 15-20' W 15-20'
SSC		'SPRING SNOW CRABAPPLE' / MALUS X 'SPRING SNOW'	1.5" CAL.	AS SHOWN	H 20-25' W 15-20'
<b>CONIFEROUS SHRUBS</b> 32					
PDN		PUMILA DWARF NORWAY SPRUCE / PICEA ABIES 'PUMILA'	#5 CONT.	4'-0" O.C.	H 3'-5' W 3'-5'
LMP		LAKEVIEW MUGO PINE / PINUS MUGO 'LAKEVIEW'	#5 CONT.	4'-0" O.C.	H 4'-6" W 3'-5'
TAY		TAUNTON'S YEW / TAXUS X MEDIA 'TAUNTONII'	#5 CONT.	4'-0" O.C.	H 3'-5' W 3'-5'
<b>DECIDUOUS SHRUB</b> 22					
AFD		ARCTIC FIRE® RED TWIG DOGWOOD / CORNUS SERICEA 'FARROW'	#5 CONT.	4'-0" O.C.	H 3'-5' W 3'-5'
DBH		BUSH HONEYSUCKLE / DIERVILLA LONICERA	#5 CONT.	3'-0" O.C.	H 2'-3" W 2'-3"
GLS		GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	#5 CONT.	5'-0" O.C.	H 2'-3" W 4'-6"
<b>PERENNIALS</b> 80					
HRD		HAPPY RETURNS DAYLILY / HEMEROCALLIS X 'HAPPY RETURNS'	#1 CONT.	18" O.C.	H 15-18" W 16-20"
ACB		NORTHERN EXPOSURE™ AMBER CORAL BELLS / HEUCHERA X 'TNHEUNEA'	#1 CONT.	18" O.C.	H 12-18" W 18-24"
LSR		LITTLE SPIRE RUSSIAN SAGE / PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	#1 CONT.	18" O.C.	H 2'-3" W 14-18"
<b>GRASSES</b> 142					
KFG		KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	30" O.C.	H 4'-5" W 2'-3"
SQB		STANDING OVATION LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	#1 CONT.	24" O.C.	H 3'-4" W 18-24"

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER QTY. = QUANTITY CONT. = CONTAINER  
 NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

**PLANTING NOTES**

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECTS OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:  
 ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.  
 ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.  
 ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.  
 ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.  
 CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- ALL PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNL & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 6" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL COLORED, OR APPROVED EQUAL. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

DESIGNED:	07/16/2024
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4" = 2'

PREPARED FOR:  
**THIELEN & GREEN**  
 7455 VILLAGE DR. STE. 110  
 LINO LAKE, MINNESOTA 55014

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR BY A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA  
 JEFF WESTENDORF  
 07/16/2024, LICENSE NO. 44018

**SI SENIOR RESTAURANT**  
 ALBERTVILLE, MN

**Westwood**  
 (820) 937-5150 12701 Winnetka Drive, Suite #200  
 (820) 937-5922 Minneapolis, MN 55343  
 (888) 937-5150 westwoodps.com  
 Westwood Professional Services, Inc.

**LANDSCAPE PLAN**

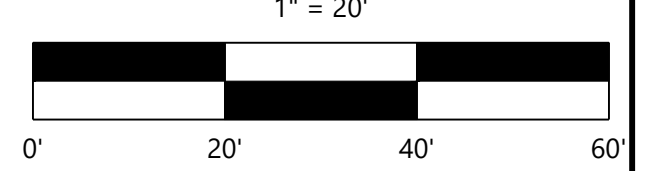
SHEET NUMBER:

**L100**

DATE: 07/16/2024  
 PROJECT NUMBER: 0051896.00

Exhibit F

NOT FOR CONSTRUCTION



# ZONING INFORMATION (B-2)

ZONED: B-2, LIMITED BUSINESS DISTRICT + COMMERCIAL PUD OVERLAY

CONDITIONAL USE: RESTAURANTS WITHOUT DRIVE-THRU SERVICES

BUILDING STANDARDS  
- MAX HEIGHT 35'-0"

PARKING REQUIREMENTS  
SIZE - 9'X20' SPACE DIMENSIONS, MIN - 24' 2-WAY DRIVE AISLES

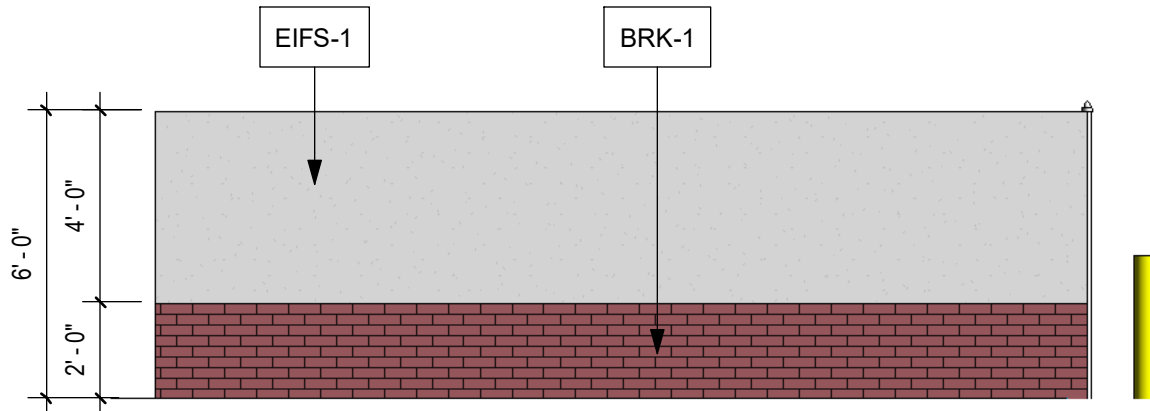
RESTAURANT - AT LEAST 1 SPACE FOR EACH 40 SQUARE FEET OF GROSS FLOOR AREA OF DINING AND BAR AREA AND 1 SPACE FOR EACH 80 SQUARE FEET OF KITCHEN AREA

2928 / 40 = 73.2 STALLS (DINING)  
1518 / 80 = 18.97 STALLS

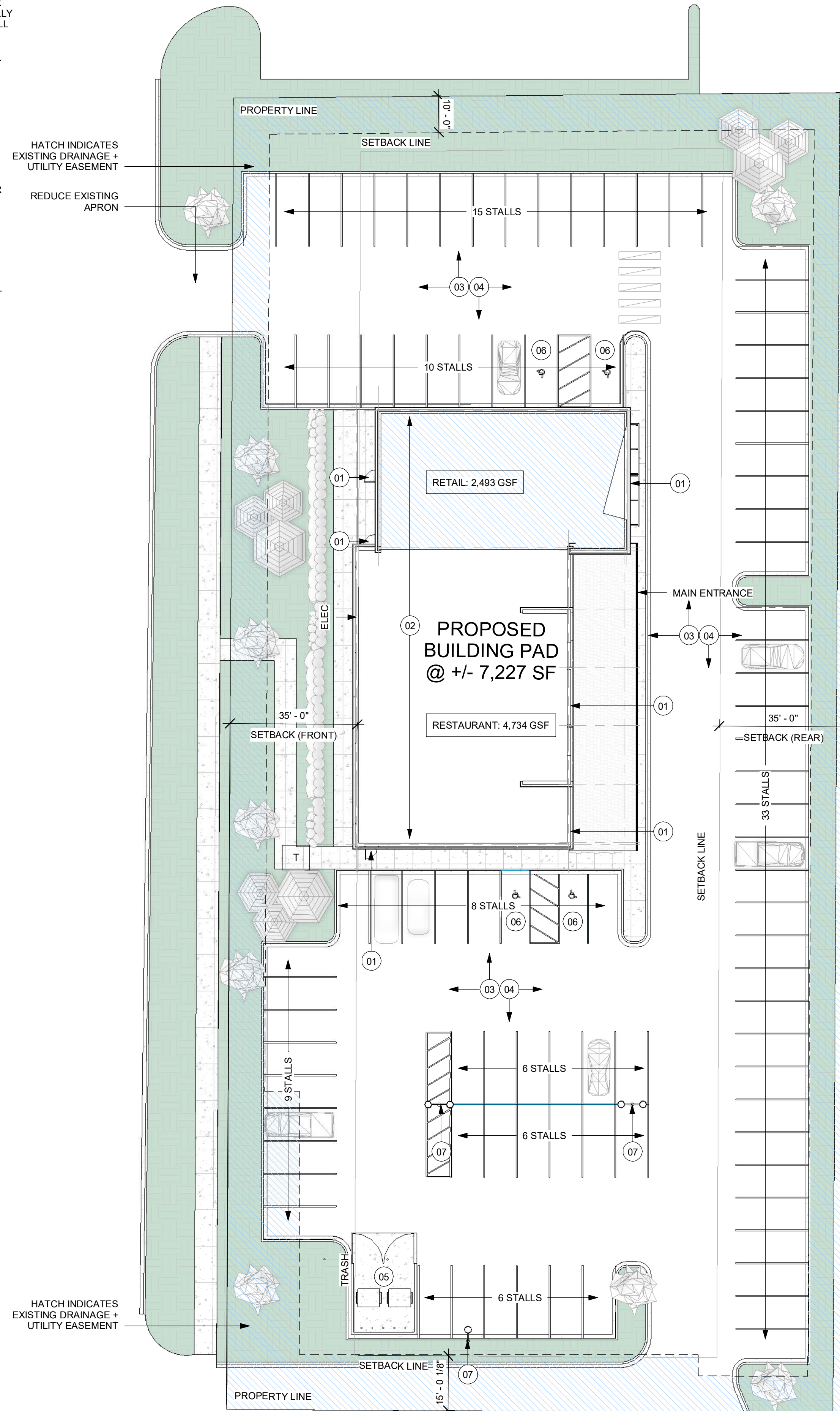
TOTAL = 92.175 STALLS (INCLUDING 4 ADA STALLS); 96 PROVIDED

RETAIL - AT LEAST 8 SPACES OR 1 SPACE FOR EACH 200 SQUARE FEET DEVOTED TO PUBLIC SALES OR SERVICE, PLUS 1 SPACE FOR EACH 500 SQUARE FEET OF STORAGE AREA, OR AT LEAST 8 SPACES OR 1 SPACE FOR EACH EMPLOYEE ON THE MAXIMUM SHIFT, WHICHEVER IS APPROPRIATE

- 1100.4: BUILDING TYPE AND CONSTRUCTION:
- A. EXTERIOR MATERIALS: NO GALVANIZED OR UNFINISHED STEEL, GALVALUM OR UNFINISHED ALUMINUM BUILDINGS (WALLS OR ROOFS), EXCEPT THOSE SPECIFICALLY INTENDED TO HAVE A CORROSIVE DESIGNED FINISH SUCH AS CORTEN STEEL, SHALL BE PERMITTED IN ANY ZONING DISTRICT, EXCEPT IN ASSOCIATION WITH FARMING OPERATIONS OR AS ALLOWED BY SECTION 1000.4 OF THIS ORDINANCE.
  - B. ARCHITECTURE AND AESTHETICS: BUILDINGS IN ALL ZONING DISTRICTS SHALL MAINTAIN A HIGH STANDARD OF ARCHITECTURAL AND AESTHETIC COMPATIBILITY WITH SURROUNDING PROPERTIES TO ENSURE THAT THEY WILL NOT ADVERSELY IMPACT THE PROPERTY VALUES OF THE ADJUTING PROPERTIES OR ADVERSELY IMPACT THE PUBLIC HEALTH, SAFETY, AND GENERAL WELFARE.
  - C. EXTERIOR FINISHES: EXTERIOR BUILDING FINISHES SHALL CONSIST OF MATERIALS COMPARABLE IN GRADE AND QUALITY TO THE FOLLOWING:
    1. BRICK.
    2. NATURAL STONE.
    3. DECORATIVE CONCRETE BLOCK.
    4. CAST IN PLACE CONCRETE OR PRECAST CONCRETE PANELS.
    5. WOOD, PROVIDED THE SURFACES ARE FINISHED FOR EXTERIOR USE AND WOOD OF PROVEN EXTERIOR DURABILITY IS USED, SUCH AS CEDAR, REDWOOD OR CYPRESS.
    6. CURTAIN WALL PANELS OF STEEL, FIBERGLASS AND ALUMINUM (NONSTRUCTURAL, NONLOAD BEARING), PROVIDED SUCH PANELS ARE FACTORY FABRICATED AND FINISHED WITH A DURABLE NONFADE SURFACE, AND THEIR FASTENERS ARE OF A CORROSION RESISTANT DESIGN.
    7. GLASS CURTAIN WALL PANELS.
    8. STUCCO.
    9. VINYL.
    10. OTHER MATERIALS DETERMINED TO BE ACCEPTABLE BY THE CITY COUNCIL.



② TYP TRASH ENCLOSURE WALL  
1/4" = 1'-0"



① ARCHITECTURAL SITE PLAN  
1" = 20'-0"

# GENERAL SITE PLAN NOTES

1. ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY - CIVIL ENGINEERING IS A DEFERRED SUBMITTAL PROVIDED BY THE OWNER AS NEEDED; NOT IN CONTRACT
2. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW - TYPICAL
3. ALL SIGNAGE SHOWN FOR REFERENCE ONLY - PROVIDED BY OTHERS UNDER A DEFERRED SUBMITTAL
4. ALL EXTERIOR LIGHTING SHOWN FOR REFERENCE ONLY - REFER TO DESIGN-BUILD ELECTRICAL DRAWINGS FOR ADD. INFO. - REFER TO EXTERIOR ELEVATIONS FOR BUILDING MOUNTED FIXTURES - COORDINATE FINAL LOCATIONS WITH OWNER IN FIELD PRIOR TO INSTALLATION
5. GC TO VERIFY THAT ALL ENTRANCE LANDINGS ARE FLUSH WITH FINISHED FLOOR AND PATCH/REPAIR AS REQUIRED
6. GC TO VERIFY THAT ALL PAVED SURFACES ADJACENT TO THE BUILDING SLOPE AWAY TO PROVIDE POSITIVE DRAINAGE

# SITE PLAN KEYNOTES

01. BUILDING ENTRY/ EXIT STOOP LOCATION - REFER TO STRUCT. TYPICAL STOOP DETAIL FOR ADD. INFO. - SLOPE AWAY FROM BLDG AT MAX 2% - MAINTAIN ADA REQ. PER 2020 MAC
02. BUILDING FOOTPRINT - REFER TO PLAN SET FOR ADD INFO
03. REFER TO CIVIL DWGS FOR EXTENTS OF LANDSCAPING - SHOWN FOR REFERENCE ONLY
04. SEE CIVIL DWGS FOR MODIFICATION OF EXISTING SITE
05. TRASH ENCLOSURE - SEE 051 FOR ADD INFO
06. ACCESSIBLE STALL - SEE CIVIL DWGS FOR ADD INFO
07. LIGHT POLE LOCATIONS - REFER TO ELEC DWGS - GC TO PROVIDE POWER AS REQ. - SHOWN AS REFERENCE

CITY STAMP AREA  
**THIELEN & GREEN**  
7455 VILLAGE DRIVE, SUITE #110  
LINO LAKES, MN 55014  
763-553-7927  
WWW.TANDGARCH.COM

ORTIZ FAMILY RESTAURANTS  
5292 KYLER AVE NE  
ALBERTVILLE, MN 55301  
218-204-0528  
ORTIZRESTAURANTS@HOTMAIL.COM

**SI SENOR MEXICAN RESTAURANT**  
5292 KYLER AVE NE  
ALBERTVILLE, MN 55301

ISSUE	DATE
CONCEPTUAL DESIGN	01/09/2024
SCHEMATIC DESIGN	07/02/2024
PLANNING & ZONING SUBMITTAL	07/16/2024
PERMIT & BID SET	TBD
FOR CONSTRUCTION	TBD

**PRELIMINARY**  
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

ARCHITECTURAL SITE PLAN	
Project Number	286_2024
Date	06/26/2024
Drawn By	KPG
Checked By	KMT

**A050**  
Scale **As indicated**



## LIFE SAFETY PLAN NOTES

- REFER TO DOOR SCHEDULE FOR ADDITIONAL ACCESSIBILITY AND/OR EGRESS REQUIREMENTS
- CONTINUATION OF ACCESSIBLE AND EGRESS ROUTE OF TRAVEL BEYOND THE AREA OF WORK BY OTHERS
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS (AS APPLICABLE) SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL(S) ALL EXIT DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
- 

## CODE INFORMATION

### APPLICABLE CODES

BUILDING CODE: 2020 MINNESOTA STATE BUILDING CODE  
 ENERGY CODE: 2024 MINNESOTA ENERGY CODE  
 ACCESSIBILITY: 2020 MINNESOTA ACCESSIBILITY CODE  
 MECHANICAL: 2020 MECHANICAL AND FUEL GAS CODE  
 PLUMBING: 2020 MINNESOTA PLUMBING CODE  
 FIRE: 2020 MINNESOTA FIRE CODE  
 ELECTRICAL: MINNESOTA ELECTRICAL CODE

### CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

PROPOSED OCCUPANCY: "A-2" (RESTAURANT), "B" (OFFICE)/"M" (RETAIL)

### CHAPTER 5: BUILDING HEIGHTS AND AREAS

PROJECT AREA: 7,227 USF  
 "A-2" = 4,734 USF  
 "B" = 2,493 USF  
 CONSTRUCTION TYPE: V-B  
 BUILDING SPRINKLED: YES  
 504.3 ALLOWABLE BUILDING HEIGHT: 60'-0"  
 504.4 ALLOWABLE STORIES: 2 STORIES  
 506.2 ALLOWABLE AREA: 24,000 SF ALLOWABLE

### CHAPTER 6: TYPES OF CONSTRUCTION

EXISTING BUILDING CONSTRUCTION TYPE: V-B  
 PRIMARY STRUCTURAL FRAME: 0  
 EXTERIOR BEARING WALLS: 0  
 INTERIOR BEARING WALLS: 0  
 NONBEARING EXTERIOR WALLS AND PARTITIONS: 0 (10 < X < 30)  
 NONBEARING INTERIOR WALLS AND PARTITIONS: 0  
 FLOOR CONSTRUCTION: 0  
 ROOF CONSTRUCTION: 0

### CHAPTER 8: INTERIOR FINISHES

OCCUPANCY GROUP: "A-2" (RESTAURANT)  
 SPRINKLED: YES

803.13 INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS: B  
 CORRIDORS AND EXIT ENCLOSURE FOR EXIT ACCESS STAIRWAYS: B  
 ROOMS AND ENCLOSED SPACES: C

### CHAPTER 10: MEANS OF EGRESS

1004	FUNCTION OF SPACE: "A-2" (RESTAURANT), INDOOR	ROOM#	ROOM NAME	LOAD FACTOR (PER 1004.5)	OCCUPANT LOAD
		100	VESTIBULE	ACCESSORY	000.00
		101	HOST	150 / 0142	000.95
		102	DINING	015 / 1372	091.46
		103	BAR	015 / 0545	036.33
		104	SERVICE	200 / 0170	000.85
		105	CORRIDOR	ACCESSORY	000.00
		106	MEN'S	ACCESSORY	000.00
		107	WOMEN'S	ACCESSORY	000.00
		108	KITCHEN	200 / 1348	006.74
		109	BEER COOLER	300 / 0136	000.45
		110	RISER ROOM	200 / 0113	000.56
		111	WALK-IN	300 / 0169	000.56
			<b>TOTAL INDOOR OCCUPANT LOAD:</b>		<b>137.91</b>

1004	FUNCTION OF SPACE: "A-2" (RESTAURANT), OUTDOOR	ROOM#	ROOM NAME	LOAD FACTOR (PER 1004.5)	OCCUPANT LOAD
		121	COVERED PATIO	015 / 0456	030.40
		122	COVERED PATIO	015 / 0453	030.20
		123	OUTDOOR PATIO	015 / 1156	077.06
			<b>TOTAL OUTDOOR OCCUPANT LOAD:</b>		<b>137.66</b>
			<b>TOTAL OCCUPANT LOAD:</b>		<b>275.57</b>

1006.2.1	NUMBER OF EXITS:	2 REQUIRED; 5 PROVIDED
1006.2.1	COMMON PATH OF EGRESS TRAVEL:	<75'-0" REQUIRED; 63'-9" PROV
1017.2	EXIT ACCESS TRAVEL DISTANCE:	<300'-0" REQUIRED; 93'-9" PROV
1020.1	CORRIDORS CONSTRUCTION:	0-HOUR RATED WITH SPRINKLER SYSTEM

1004	FUNCTION OF SPACE: "B" (BUSINESS), INDOOR	ROOM#	ROOM NAME	LOAD FACTOR (PER 1004.5)	OCCUPANT LOAD
		113	BUSINESS	150 / 2395	015.97
			<b>TOTAL OCCUPANT LOAD:</b>		<b>015.97</b>

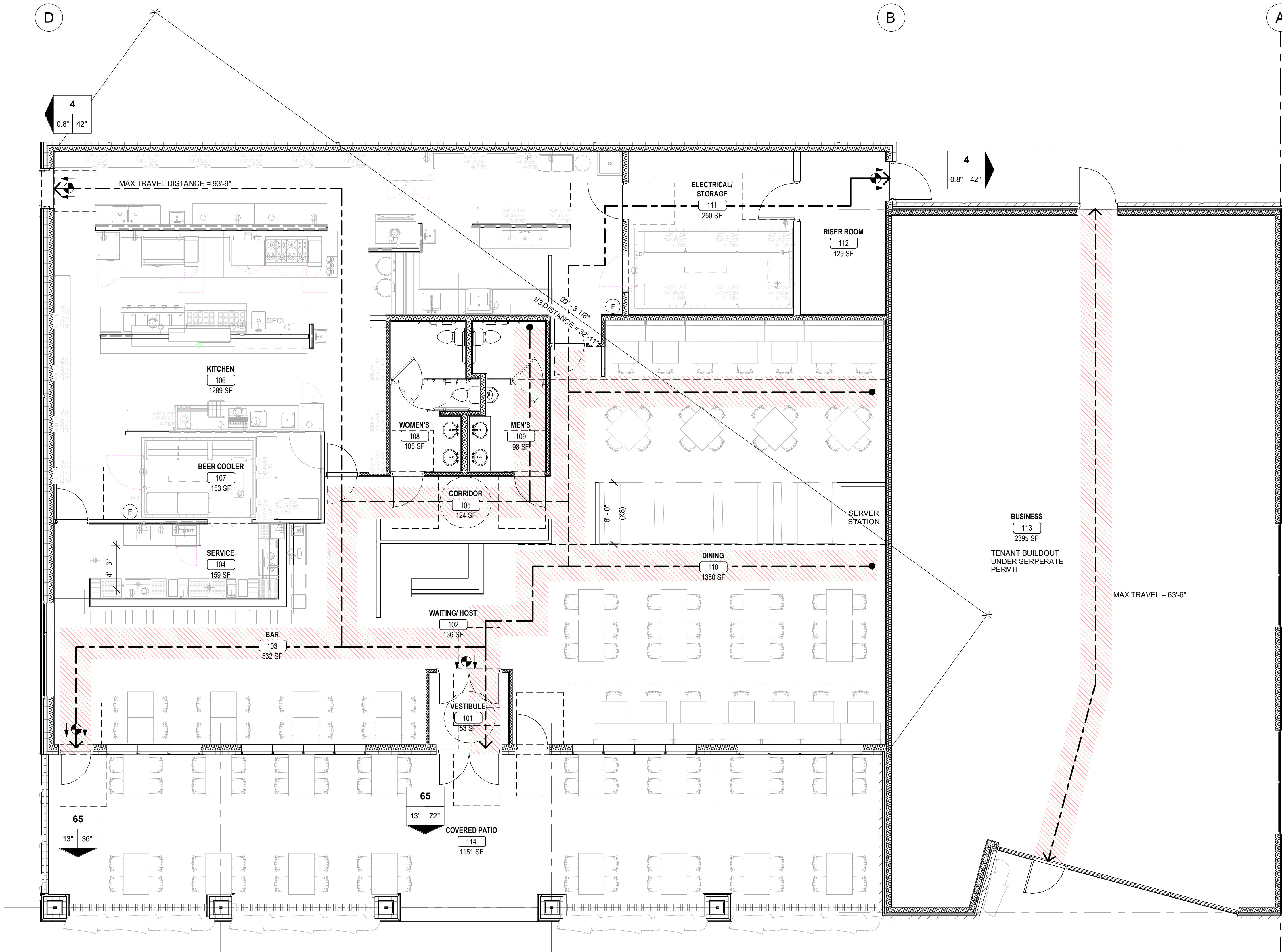
1006.2.1	NUMBER OF EXITS:	2 REQUIRED; 2 PROVIDED
1006.2.1	COMMON PATH OF EGRESS TRAVEL:	<75'-0" REQUIRED; 63'-9" PROV
1017.2	EXIT ACCESS TRAVEL DISTANCE:	<250'-0" REQUIRED; 63'-6" PROV
1020.1	CORRIDORS CONSTRUCTION:	0-HOUR RATED WITH SPRINKLER SYSTEM

### CHAPTER 29: PLUMBING SYSTEMS

2902.01 MINIMUM NUMBER OF FIXTURES  
 GROUP "A-2" (RESTAURANT):  
 REQUIRED: 3.68 WC, 1.38 LAV  
 • WC: 1 PER 75 PER SEX  
 • LAV: 1 PER 200 PER SEX  
 • SERVICE SINK: 1  
 • 275.57 / 2 = 137.79 MALE/FEMALE  
 • 137.79 / 75 = 1.84 WC EACH  
 • 137.79 / 200 = 0.68 LAV EACH  
 PROVIDED: 4.00 WC, 4.00 LAV

## CODE PLAN LEGEND

	EGRESS ROUTE		OCCUPANTS
	EXISTING AREA WITHIN LEASE SPACE TO REMAIN (NOT IN SCOPE)		EXIT WIDTH PROV.
	EXISTING AREA OUTSIDE OF LEASE SPACE TO REMAIN (NOT IN SCOPE)		EXIT WIDTH REQ.
	FIRE EXTINGUISHER LOCATION - FINAL LOCATION BY G.C. (MAX SEPARATION TRAVEL DISTANCE 75'-0")		



CITY STAMP AREA

## THIELEN & GREEN

7455 VILLAGE DRIVE, SUITE #110  
 LINO LAKES, MN 55014  
 763-553-7927  
 WWW.TANDGARCH.COM

ORTIZ FAMILY RESTAURANTS  
 5292 KYLER AVE NE  
 ALBERTVILLE, MN 55301  
 218-204-0528  
 ORTIZRESTAURANTS@HOTMAIL.COM

# SI SENOR MEXICAN RESTAURANT

5292 KYLER AVE NE  
 ALBERTVILLE, MN 55301

ISSUE	DATE
CONCEPTUAL DESIGN	01/09/2024
SCHEMATIC DESIGN	07/02/2024
PLANNING & ZONING SUBMITTAL	07/16/2024
PERMIT & BID SET	TBD
FOR CONSTRUCTION	TBD

## PRELIMINARY

NOT FOR CONSTRUCTION

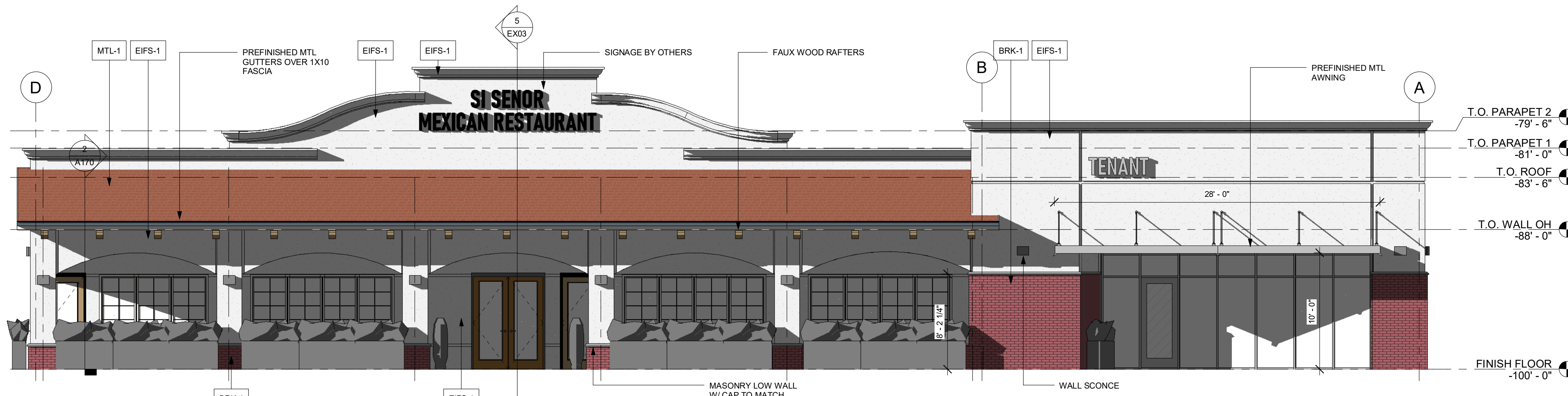
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

### CODE PLAN

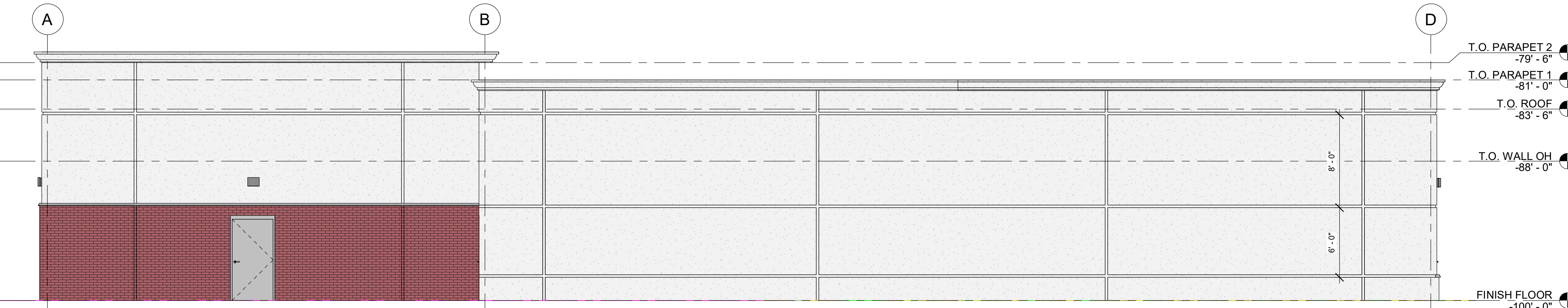
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 Date: 06/26/2024  
 Drawn By: KPG  
 Checked By: KMT

# A001

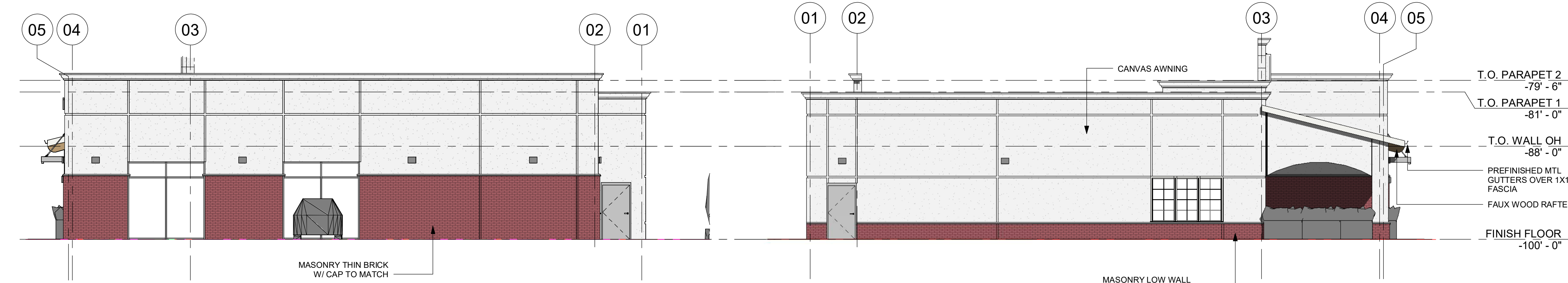
Scale: As indicated



2 CONCEPTUAL WEST EXTERIOR ELEVATION  
3/16" = 1'-0"

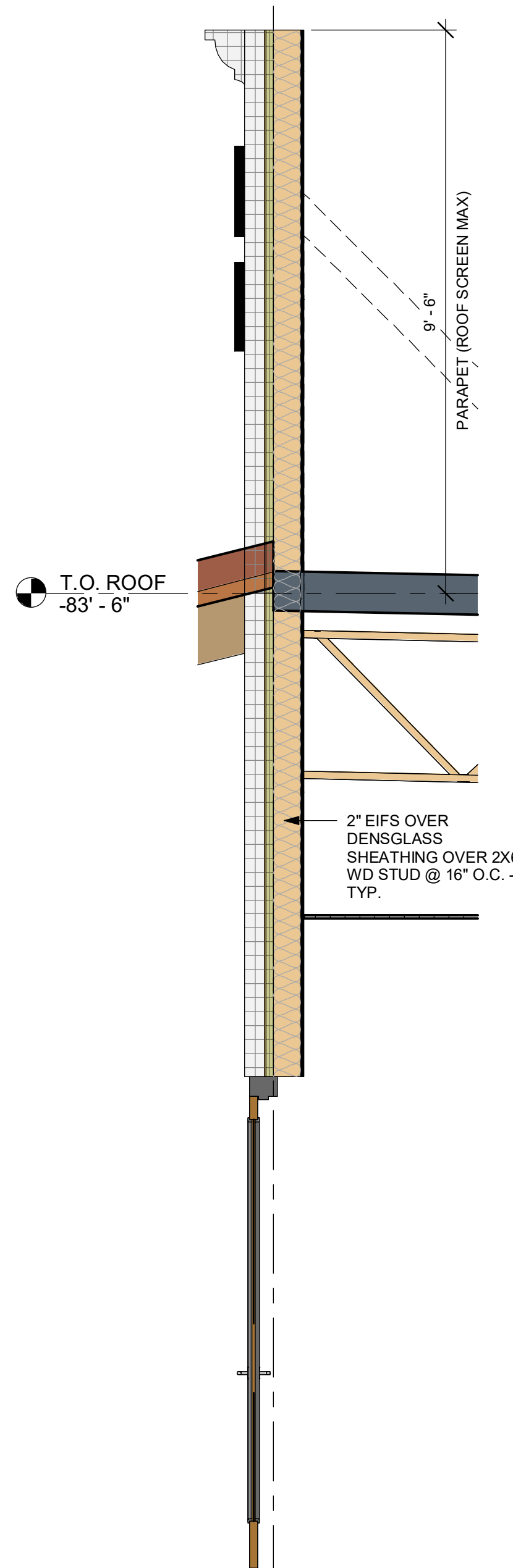


3 CONCEPTUAL EAST EXTERIOR ELEVATION  
3/16" = 1'-0"



4 CONCEPTUAL NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"

1 CONCEPTUAL SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"



5 CONCEPTUAL TYP. EXT. WALL SECTION  
1/2" = 1'-0"



CITY STAMP AREA  
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**SI SENOR MEXICAN RESTAURANT**  
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ALBERTVILLE, MN 55301

ISSUE	DATE
CONCEPTUAL DESIGN	01/09/2024
SCHEMATIC DESIGN	07/02/2024
PLANNING & ZONING SUBMITTAL	07/16/2024
PERMIT & BID SET	TBD
FOR CONSTRUCTION	TBD

**PRELIMINARY**  
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

**CONCEPTUAL ELEVATIONS**

Project Number	286_2024
Date	06/26/2024
Drawn By	KPG
Checked By	KPG, KMT

**EX03**

Scale **As indicated**

Exhibit H



THIELEN & GREEN

Exhibit I

CITY STAMP AREA

**THIELEN & GREEN**

7455 VILLAGE DRIVE #110  
LINO LAKES, MN 55104  
763-553-7927  
WWW.TANDGARCH.COM

ORTIZ FAMILY RESTAURANTS  
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ALBERTVILLE, MN 55301  
218-204-0528  
ORTIZRESTAURANTS@HOTMAIL.COM

**SI SENOR MEXICAN RESTAURANT**

5292 KYLER AVE NE  
ALBERTVILLE, MN 55301  
PID 101137001010

ISSUE	DATE
CONCEPTUAL DESIGN	01-09-2024

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE STATE LAWS OF MINNESOTA

**NOT FOR CONSTRUCTION**  
KRIS THIELEN

REGISTRATION NO: 59237      DATE: 03-29-2024

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CONCEPTUAL RENDERINGS	
Project Number	286_2024
Date	03-29-2024
Drawn By	KPG
Checked By	KPG, KMT

**EX04**

Scale



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN

CITY STAMP AREA

**THIELEN & GREEN**

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ALBERTVILLE, MN 55301  
PID 101137001010

ISSUE	DATE
CONCEPTUAL DESIGN	01-09-2024

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**NOT FOR CONSTRUCTION**  
KRIS THIELEN

REGISTRATION NO: 59237 DATE: 03-29-2024

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CONCEPTUAL RENDERINGS	
Project Number	286_2024
Date	03-29-2024
Drawn By	KPG
Checked By	KPG, KMT

**EX05**

Scale