



PLANNING COMMISSION MEETING
Tuesday April 9, 2024
7 PM

- 1. CALL TO ORDER - ROLL CALL – ADOPT AGENDA**
- 2. MINUTES**
 - a. March 12, 2024, Planning Commission Meeting Minutes. (Pages 2-5)
- 3. PUBLIC HEARINGS**
 - a. Public hearing to consider a development application of Oppidan Holdings LLC. for an administrative subdivision, PUD /CUP amendment, Daycare CUP / site and building plan for the development of a 11,50+ sq. ft. commercial daycar on Lots 2 and 3, Block 1, Shoppes at Towne Lake Two. (Page 6-21, Exhibits A-I)
- 4. OTHER BUSINESS**
 - a. None
- 5. ADJOURNMENT**



ALBERTVILLE PLANNING COMMISSION

TUESDAY, MARCH 12, 2024

DRAFT MINUTES

ALBERTVILLE CITY HALL 7:00 PM

1. CALL TO ORDER – ROLL CALL – ADOPT AGENDA

Chair Buhrmann called the meeting to order at 7 pm.

Kris Luedke conducted roll call.

Present: Chair Buhrmann and Commissioners Anderson, Smith, Pinski and Council Liaison Hayden.

Absent: Huggins

Others Present: City Planner Al Brixius and City Clerk Luedke

Motioned by Anderson, seconded by Pinski to approve the agenda as submitted. Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

2. MINUTES

Motioned by Smith, seconded by Pinski to approve the February 13, 2024, Planning Commission meeting minutes as presented. Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

3. PUBLIC HEARINGS

- A. Public hearing to consider a development application of Medart Inc. for an administrative subdivision, easement vacation, and PUD amendment/site and building plan for the development of a 105,157 sq. ft. industrial building on Lots 1 and 2, Block 1, AVA Second Addition.**

Brixius provided background information on the previous Albertville Self-Storage Facility development applications which did not proceed. He reported that Medart Inc. was pursuing development applications for the property now and said the approval would include the combination of two lots, the vacation of a certain easements within the lots, approval of the development and he said the plans included a future phase two warehouse expansion. Brixius

said staff recommended approval of the Medart Industrial Warehouse Facility site and building plans with the following conditions.

1. The City Council repeals the 2022, PUD approval for Albertville Self-Storage for the same lot.
2. The site plan be revised to implement the City Engineer's recommendation for curb cut widths for the site.
3. The City approves PUD flexibility for a gravel fire lane around the north and east side of the building per the approved site plan. The gravel drive aisle shall be designed to meet the 2020 Minnesota State Fire Code, Fire Apparatus Access Road for all-weather access. The gravel fire land shall be improved to a paved surface by October of 2030 or with the future building addition whichever is sooner.
4. The City approves PUD flexibility to allow the initial construction of 73 parking stalls west of the building with the 141 proof of parking stalls provided the following conditions.
 - On-site parking shall be limited to approved parking stalls. Parking shall be prohibited on-street, within the drive lanes, loading areas, or unpaved surfaces.
 - The applicant shall construct additional parking meeting the City zoning standards upon notification from the City. Additional parking will be required if the on-site parking is insufficient to meet the parking demand.
 - All parking shall be designed and constructed to meet City parking standards.
 - The site plan shows a total of 214 parking stalls this requires 6 disability stalls. The site plan must be revised to show the location and design of the 6 disability stalls.
5. The Applicant shall provide a design detail of the proposed trash enclosure showing the exterior materials of the enclosure and gate.
6. The site and landscape plan must be revised to show landings and sidewalks for the doors on the north and east sides of the building. These landings and clear paths shall be kept clear of obstructions and snow from the doors to a drive aisle.
7. The Applicant shall provide revised site and building plans illustrating the location, size, and screening of any ground mounted or rooftop mechanical equipment.
8. The landscape plan shall be revised to include the following.
 - The landscape screening shall consist of a double stagger row of coniferous trees. Trees shall be a minimum of 8 feet in height. The spacing of trees in the same row shall be no greater than ten feet on center.
 - The landscape screen shall be extended for the full length of the initial construction and the proposed future addition, to allow the plantings to grow and mature together, becoming a more effective screen over time.
 - A landscape screen or screen wall shall be provided within the green space along the west end of the loading berths.
 - The landscape plan must provide screening either landscaping or fence along the western edge of the west parking lot. Said screen shall be of a height to screen headlights directed toward the public street.
9. The lighting plan be revised to include one additional wall mounted light over the man door at the northwest corner of the building.
10. Separate sign permit shall be required with the submission of the building permit showing all signs, freestanding signs and any on-site directional or traffic control signs.
11. Grading, drainage, and utilities plans shall be subject to final review and approval by the City Engineer.

12. The Applicant shall enter into a PUD/Development agreement outlining the terms of site development and conditions of PUD approval.

Brixius answered questions from the Commissioners regarding the curb cuts, the landscaping and screening plan, the layout of the proposed building and the future expansion project.

Darin Lazan, with Landform representing Medart Inc, provided additional information on the development project, the future expansion plans and the proposed building time frame. He answered questions from the Commissioner and said he had two requests. The first being, to extend the date in which the gravel fire land was requested to be improved to a paved surface. Presently it is listed as the year 2030 but he asked if it could be extended to the year 2035. Secondly, he asked if there could be changes to the landscaping plan.

Brixius stated that Staff was okay with the date extension to the gravel fire lane improvement and the landscaping request.

Motioned by Anderson, seconded by Smith to open the Public Hearing. Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

There were no comments for the Public Hearing.

Motioned by Smith, seconded by Anderson to close the Public Hearing. Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

Commissioners discussed the Medart Inc project, the landscaping plans, the curb cuts, and the future project expansion. The consensus was that the Commissioner were comfortable with the proposed amendments to the conditions.

Motioned by Buhrmann, seconded by Anderson to consider a development application of Medart Inc. for an administrative subdivision, easement vacation, and PUD amendment/site and building plan for the development of a 105,157 sq. ft. industrial building on Lots 1 and 2, Block 1, AVA Second Addition as amended. Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

B. Public hearing to consider a sign code text amendment allowing signs within City playfields within Central Park - Tabled from February 13, 2024, Planning Commission meeting.

Brixius said this item was tabled at the last meeting and reported this Ordinance would allow the local non-profit baseball and softball associations to sell signs to raise money for their associations. He reviewed the sign design standards and added signs would be approved by the City. Brixius answered questions from the Commissioners regarding the sign design standards, how it may be decided which association would use which play field and the application process.

Motioned by Smith, seconded by Pinski to open the Public Hearing. Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

There were no comments for the Public Hearing.

Motioned by Anderson, seconded by Buhrmann to close the Public Hearing. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

Commissioners discussed the proposed amendments to the sign code, the local sports associations, the design standards for the signs and how the agreement may be administered.

Motioned by Buhrmann, seconded by Anderson to approve consider a sign code text amendment allowing signs within City playfields within Central Park. Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

4. OTHER BUSINESS

A. None.

5. ADJOURNMENT

Motioned by Buhrmann, seconded by Smith to adjourn the meeting at 8 pm. Ayes: Buhrmann, Anderson, Smith and Pinski. Nays: None. Absent: Huggins. MOTION DECLARED CARRIED.

Respectfully submitted,

Kris Luedke, City Clerk

PLANNING REPORT

TO: Adam Nafstad
FROM: Alan Brixius
DATE: April 1, 2024
RE: Learning Care / Everbrooke Daycare PUD/CUP
FILE NO: 163.06 24.02

BACKGROUND

Oppidan Holdings LLC is proposing the construction of a 11,500+ square foot daycare center on Lot 2 and 3 Block 1 Shoppes at Towne Lakes Two, entitled Everbrooke Daycare. To facilitate this development, the following applications are required:

Subdivision: Existing Lots 2 and 3, Block 1 Shoppes at Towne Lakes Two exist as separate lots that must be combined into a single development site. This is necessary to avoid building over a property line. The lot combination qualifies as an administrative subdivision.

Conditional Use Permit/ PUD Site and Building Plan Approval: The site is zoned B-2A Special Business District which allows for the daycare land use by conditional use permit. The site is also part of the Shoppes at Towne Lake Two CUP/PUD which was approved in 2006. The approved CUP/PUD allowed for a private street, shared parking, and also placed specific land use restrictions on certain lots. The Applicant's is requesting changes to the original PUD agreement to allow proposed use, building and site plan on this proposed site.

EXHIBITS

- Exhibit A Site Survey
- Exhibit B Existing Conditions and Removals.
- Exhibit C Site Plan
- Exhibit D Utility Plan
- Exhibit E Grading Plan
- Exhibit F Landscape Plan
- Exhibit G Photometric Plan
- Exhibit H Building Floor Plan
- Exhibit I Building Elevations

SUBDIVISION

The Albertville Subdivision allows two platted lots to be combined through a minor subdivision. The site proposes the combination of lots 2 and 3 Block 1 of Shoppes of Towne Lakes Two. Approval of the proposed lot combination is recommended to be approved based on the following findings and conditions.

1. The lot combination results in a new lot that exceeds the lot area and width requirement of the B-2A zoning district.
2. The proposed building will meet the required B-2A zoning district setbacks.
3. There is a Sanitary sewer easement that will extend into the lot, which will remain in place. The Site plan shows an improved parking lot over this utility easement. This can be acceptable provided the easement agreement is in-place that allows the City to access the utility underlying easement and the property owner would be responsible for the cost of replacing the improvements within the easement.
4. The Water service into the site shall be covered by a utility easement. The easement shall be twenty feet wide centered on the water service.
5. Lot access will be via private streets the property and new daycare shall be part of an association that contributes to the maintenance, repair, and replacement of the private street. The association membership is also required for the maintenance of other common elements (ponding, streetlights, etc.)

CONDITIONAL USE PERMIT/ PUD SITE PLAN

Zoning / Land Use. The site is zoned B-2A Special Business District. Commercial daycare is permitted with a conditional use permit. The Site is also part of the Shoppes at Towne Lakes CUP/PUD.

The Shoppes at Towne Lake Two development agreement restricted the land use on Lot 3, Block 1 to an 8,000 sq. ft. restaurant. The applicant is requesting a change in the PUD restriction. The PUD was approved in 2006. The site has not experienced development interested in this site until now. The commercial daycare is allowed use in the B-2A zoning district. Staff recommend approval of the land use change for Lot 3, Block 1.

Lot Area and Setbacks. The lot meets the B-2A lot area and width setbacks as follows:

	Required	Proposed	Compliant
Lot Area	1 acre	2.26 acres	Yes
Lot Width	150 feet	190.33 feet	Yes
Setbacks:*			
Front	25 feet	42.6 feet	Yes
Side (Private Street)	20 feet	28.0 feet	Yes
Side (CR. 19)	25 feet	80.7 feet	Yes
Rear	20 feet	297.0 feet	Yes
Parking Setbacks:			
Front	20 feet	31 feet	Yes
Side	5 feet	10 feet	Yes
Rear	10 feet	326 feet	Yes

Parking. The proposed daycare is designed for 150 child enrollment and 20 adult staff members. The City parking standards do not specify the amount of parking required for the proposed use. The ITE standard for daycare centers ranges from 2.7 to 3.6 parking stalls per 1,000 feet of gross floor area. The ITE standard would require 31 to 41 parking spaces. The site plan shows 43 total stalls, which exceed the ITE suggested range.

The 2006, approved as shared parking arrangement that included all lots in the Shoppes of Towne Lakes lots. The Applicant is requesting that their site be excepted from the shared parking arrangement and be allowed to stand alone in providing parking. The site plan provides adequate parking for the daycare. Staff recommends approval of a PUD / CUP amendment to allow the day care site to be exempt from the shared parking easement.

The parking lot shows bituminous surfacing, concrete curbing, and striping meeting the City zoning standards. Parking spaces are required to be 20 feet in length and 9 feet in width. The site plan shows the parking stalls dimensioned at 9 feet in width and 18 feet. The Site Plan must be revised to provide for the 20-foot parking stall length.

Loading. The proposed floor plan shows a kitchen in the southern portion of the building. The applicant has indicated that the daycare will be served by smaller delivery vehicles. The site plan shows on-site turning movements for delivery vehicles and garbage trucks having a 20 foot wheelbase and 35 foot vehicle length that will service the site.

Trash Enclosure. The trash enclosure is located to the northwest corner of the parking lot. This location is acceptable. Plans for trash enclosure including elevations showing materials, gate, and design compatible with the principal structure shall be provided. The City Code requires the exterior walls of the trash enclosure shall be masonry or similar and/or complement the principal building.

Outdoor Lighting. The provided photometric plan shows that lighting levels over the parking lot meeting City standards at the property lines. The photometric plan must be expanded to illustrate the light level produced by the wall mounted light fixtures. Applicant shall provide cut sheets of the proposed exterior fixtures both wall mounted and freestanding to demonstrate a 90-degree cut off and screened light source. The Freestanding light poles shall not exceed a height of 30 feet.

Fence. The site plan indicates that there will be fencing in three different areas of the site.

The play area is proposed on the west side of the building. Play area is surrounded by a six-foot-tall white vinyl privacy fence. The play area meets the building setback along CR.19 but extends into the required front yard setback from 69th Street. Staff recommends the play area be shifted south to provide a 25-foot setback from the north lot line.

The second fenced area is an exterior mechanical equipment area on the north side of building. This area is proposed to be surrounded by a seven foot tall semi-private vinyl, white fence. This fence area meets the required building setbacks.

The third fenced area is along the east of the building, separating the private sidewalk access along the building from the public sidewalk. This fence will consist of a 4 foot tall ornamental, aluminum, black fence.

For each of the fences, details on fence design, materials used, height, exterior gates, and latches, shall be submitted for City approval.

Building/Architecture. Exterior materials consist of brick and CMU wainscot around the base of the building. Brick wall treatments at the building entrance. The remaining portion of exterior walls will be EIFS panels, and an asphalt shingled roof. The exterior wall treatments are composed of preferred materials or replicants that meet the City standards. Any ground mounted or rooftop mechanical equipment must be screened from view of adjoining properties and public streets.

Landscape Plan. The submitted landscape plan is well conceived and generous in the number and locations of the plantings. The plantings meet the size and type requirements of the zoning code. In review of the landscape plan we recommend shifting the parking lot ten feet to the west to allow for landscape screening along the east side of the parking lot to screen headlights glare onto Laketowne Place.

Utilities. The sanitary sewer, electrical, and storm water systems are subject to the review and approval of the City Engineer. Potable water and fire suppression will require separate service lines and valves leading into the building.

Grading/Stormwater. Site grading shall be subject to the review and approval of the City Engineer.

CONCLUSION

Subdivision. In review of the subdivision / Lot consolidation, we find that the proposed lot meets the area and width standards of the B-2A zoning district and staff recommends approval subject to the following conditions:

1. There is a Sanitary sewer easement that will extend into the lot, which will remain in place. The Site plan shows an improved parking lot over this utility easement. This can be acceptable provided the easement agreement is in-place that allows the City to access the utility underlying easement and the property owner would be responsible for the cost of replacing the improvements within the easement.
2. The Water service into the site shall be covered by a utility easement. The easement shall be twenty feet wide centered on the water service.
3. Lot access will be via private streets the property and new daycare shall be part of an association that contributes to the maintenance, repair, and replacement of the private street. The association membership is also required for the maintenance of other common elements (ponding, streetlights, etc.)

Planned Unit Development / Conditional Use Permit/ Daycare CUP. In review of the site plan and architectural building plan dated March 6, 2024, staff recommends approval of the conditional use permit for the commercial daycare and CUP/PUD amendments with the following conditions:

1. Approval of the requested subdivision combining Lot 2 and 3, Block 2 Shoppes at Towne Lakes Two.
2. The Applicant shall enter into an amendment PUD agreement that: removes the land use / zoning restriction on Lot 3, Block 1, Shoppes of Towne Lakes Two allowing the daycare use and removes the site from the required shared parking requirement of the original PUD.CUP agreement.
3. The parking lot be shifted west to provide a 10 foot landscape area along the east side of the parking lot to allow landscape screening of the parking lot. The parking stalls shall be revised to provide a 20 foot stall length.
4. Applicant shall provide a design elevation of the trash enclosure for City approval.
5. The photometric plan shall be revised to illustrate the light levels around the building pertaining to the buildings wall mounted light fixtures. Detail cut-sheets of proposed wall mounted and freestanding light fixtures showing that they area 90 degree cut-off and shield light source. The lighting plan shall show the pole height and design of the freestanding lights.

6. The Applicant shall provide a detail for each of the proposed fences showing design, materials, gates, and gate latches for City approval.
7. The play area fence be shifted south to provide a 25 front yard setback from 69th Street right-of-way line.
8. All ground mounted or rooftop mechanical equipment must be screened from view of adjoining properties and public streets.
9. The Utility plan shall be revised to show potable water and fire suppression being separate service lines and valves leading into the building.
10. The Utility plan shall be subject to the review and approval of the City Engineer.
11. The Grading and Drainage plan shall be subject to the review and approval of the City Engineer.

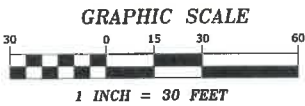
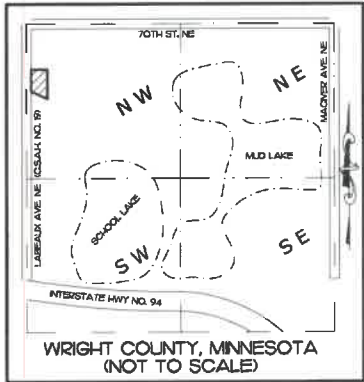
Cc. Maeghan Becker
Kris Luedke
Paul Tucci
Steve Upgren

ALTA/NSPS LAND TITLE SURVEY

~for~ **OPPIDAN HOLDINGS, INC.**
 ~of~ **6869 & 6883 LAKETOWNE PLACE NE,
 ALBERTVILLE, MINNESOTA 55301**

VICINITY MAP

SEC. 36, TWP. 121, RING. 24



CERTIFICATION

I hereby certify to Oppidan Holdings, LLC, a Minnesota limited liability company; and to First American Title Insurance Company National Commercial Services that this is a survey of:

Lots 2 and 3 in Block 1, The Shoppes at Towne Lakes Two, Wright County, Minnesota.

(Abstract Property)

and is based upon information found in Title Commitment Number NCS-1203886-MPLS, dated January 02, 2024 at 7:30 AM, prepared by First American Title Insurance Company National Commercial Services, and that all easements, if any, listed in Schedule B-II on the herein referenced commitment for title insurance, are shown hereon; and that this map or plat and the survey on which it is based were made (I) in accordance with "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2021, and (II) pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as a land surveyor licensed in the State of Minnesota, the Relative Positional Accuracy of this survey does not exceed that which is specified therein and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11(a), 11(b), and 13 of Table A thereof. The field work was completed on January 16, 2024.

I further certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date: 2/01/2024

E.G. Rud & Sons, Inc.

Kevin C. McCain
 Kevin C. McCain, Land Surveyor
 Minnesota License No. 58542

GENERAL NOTES

- Fee ownership is vested in Albertville Phase II, LLC, a Minnesota limited liability company and Albertville Phase III, LLC, a Minnesota limited liability company.
 Parcel ID Numbers: 101-116-001020 (Lot 2) & 101-116-001030 (Lot 3).
- Per Title Commitment, the surveyed property's address is 6869 Laketowne Place NE, Albertville, MN 55301 (Lot 2) and 6883 Laketowne Place NE, Albertville, MN 55301 (Lot 3).
- Bearings shown hereon are based on the Wright County Coordinate System.
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined to be outside the 500-year flood plain), according to Flood Insurance Rate Map Number 2707470001A, by the Federal Emergency Management Agency, effective date September 30, 1992.
- Boundary area of the surveyed premises: 98,479 sq. ft. (±2.26 acres).
- The surveyed premises has direct access to Laketowne Place NE, a private street.
- No zoning endorsement letter was provided to the surveyor at the time of the survey, however, a search of the City of Albertville's website indicates the surveyed property is currently zoned B-2A (Special Business) with a PUD (Planned Unit Development) overlay. For additional information regarding zoning and setbacks, contact the City of Albertville at (763) 497-3384.
- No identifiable parking stalls were observed on the surveyed property at the time of the survey.
- Above ground utilities have been field located as shown. Underground utilities shown hereon are those which were field marked by utility companies responding to Gopher State One Call, Ticket No. 240090195, dated 1/16/2024 or were taken from utility plans provided by the City of Albertville. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002). However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, Gopher State One Call locate and other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- Subsurface and environmental conditions were not examined or considered during the process of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of the surveyed premises.
- Title Commitment Number NCS-1203886-MPLS, dated January 02, 2024 at 7:30 AM, prepared by First American Title Insurance Company National Commercial Services, Schedule B, Part II Survey Related Exceptions:
 - Item #9 - Easements for drainage and utility purposes as shown on the plat of Towne Lakes 5th Addition, recorded August 24, 2004, as Document No. 924111.
 As affected by Ordinance No. 2006-01 by the City of Albertville amending street names, as contained in the instrument recorded September 20, 2006, as Document No. A1026376.
 [SURVEYOR'S NOTE: As shown hereon.]
 - Item #10 - Terms and conditions of City of Albertville Planned Unit Development Agreement - Towne Lakes 5th Addition, dated August 2, 2004, recorded August 24, 2004, as Document No. A924112.
 [SURVEYOR'S NOTE: Said document contains language granting a temporary easement in favor of the city for access purposes. Said easement appears blanket in nature, contains no expiration date and is not shown hereon.]
 - Item #11 - The Shoppes at Towne Lakes Two Declaration of Covenants, Easements and Restrictions, dated October 17, 2004, recorded November 2, 2004, as Document No. A933638, and the terms, conditions, covenants, restrictions, provisions, obligations and easements set forth therein.
 [SURVEYOR'S NOTE: Said document contains language granting nonexclusive easements for Utilities and Drainage, Communications, Entrance Signs and Monuments, Pedestrian Access, Parking and Vehicular Access, Maintenance Access, Public Safety and Health, and also exclusive easements for Encroachments and Developer Rights. Said easements are not mathematically confined and not shown hereon.]
 - Item #12 - Terms and conditions of the City of Albertville Master Planned Unit Development/Conditional Use Agreement - Shoppes at Towne Lakes One, dated February 3, 2004, recorded February 10, 2004, as Document No. A896395.
 As affected and amended by the City of Albertville First Amendment to the Master Planned Unit Development/Conditional Use Agreement - Shoppes at Towne Lakes One, dated May 19, 2005, recorded July 24, 2006, as Document No. A1018401.
 [SURVEYOR'S NOTE: Document No. A896395 does not affect the surveyed property and is not shown hereon. Document A1018401 affects the surveyed property but is not survey related and not shown hereon.]
 - Item #13 - Easements for drainage and utility purposes as shown on the plat of The Shoppes at Towne Lakes Two, recorded August 17, 2006, as Document No. 1022066.
 [SURVEYOR'S NOTE: As shown hereon.]
 - Item #14 - Terms and conditions of the City of Albertville Planned Unit Development Shoppes at Towne Lakes Two, dated July 20, 2006, recorded August 17, 2006, as Document No. A1022067.
 [SURVEYOR'S NOTE: Said document contains language granting a temporary easement in favor of the city for access purposes. Said easement appears blanket in nature, contains no expiration date and is not shown hereon. The document also restricts the surveyed parcels with 25 foot setback from Labeaux Avenue/CSAH 19, shown hereon.]
 - Item #15 - The Shoppes at Towne Lakes Two Declaration of Covenants, Easements and Restrictions, dated August 10, 2006, recorded August 17, 2006, as Document No. A1022059, and the terms, conditions, covenants, restrictions, provisions, obligations and nonexclusive easements set forth therein.
 [SURVEYOR'S NOTE: Said document contains language granting nonexclusive easements for Utilities and Drainage, Communications, Entrance Signs and Monuments, Pedestrian Access, Parking and Vehicular Access, Maintenance Access, Public Safety and Health, and also exclusive easements for Encroachments and Developer Rights. Said easements are not mathematically confined and not shown hereon.]
 - Item #16 - Non-exclusive easements created in Declaration of Cross Easements dated August 10, 2006, recorded August 17, 2006, as Document No. A1022070, and the terms, conditions, provisions, rights and obligations set forth therewith.
 [SURVEYOR'S NOTE: The Cross Access Easement is as depicted hereon. The Cross Parking Easement area is shown on the "EASEMENT SKETCH" hereon.]
 - Item #17 - Mortgage, dated January 23, 2014, recorded January 31, 2014, as Document No. A1256837, executed by Albertville Phase II, LLC, a Minnesota limited liability company, and Albertville Phase III, LLC, a Minnesota limited liability company, as Mortgagee, to American Heritage National Bank, organized and existing under the laws of the United States of America.
 As modified by Modification of Mortgage, dated October 16, 2018, recorded October 18, 2018, as Document No. A1382262.
 [SURVEYOR'S NOTE: Said document is not survey related and not shown hereon.]

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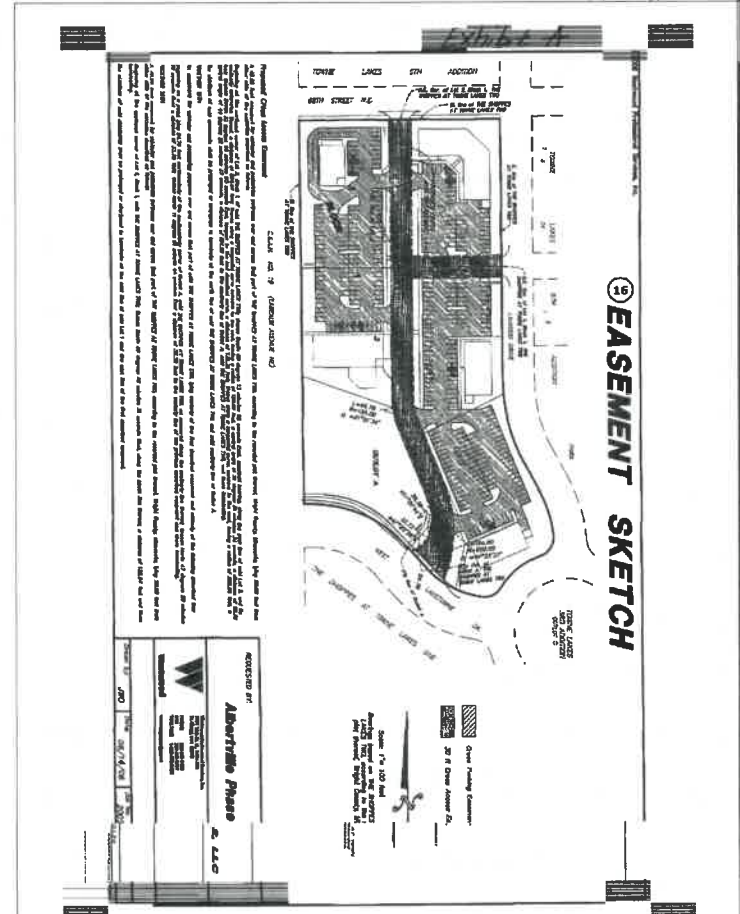
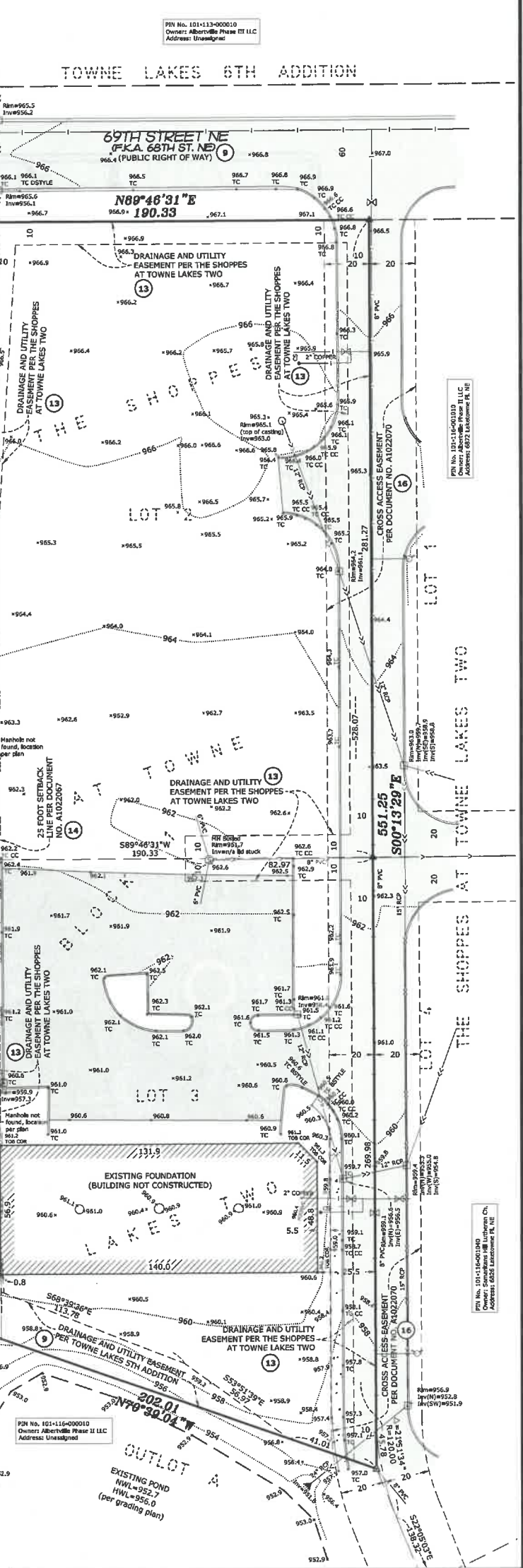
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BENCHMARK

MINNESOTA DEPARTMENT OF TRANSPORTATION
 GSID STATION #85823 (NAME: FAT ALBERT)
 ELEVATION = 975.59 FEET (NAVD88)

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 58542
- ▲ DENOTES FOUND PKNAIL
- ◆ DENOTES SET PKNAIL
- DENOTES CATCH BASIN
- DENOTES CURB STOP
- ⊠ DENOTES ELECTRICAL BOX
- ⊞ DENOTES EXISTING SPOT ELEVATION
- ⊟ DENOTES HYDRANT
- ⊠ DENOTES SANITARY SEWER MANHOLE
- ⊡ DENOTES STORM SEWER APRON
- ⊢ DENOTES STORM SEWER MANHOLE
- ⊣ DENOTES WATER VALVE
- ⊤ DENOTES EXISTING CONTOURS
- ⊥ DENOTES EXISTING SANITARY SEWER
- ⊦ DENOTES EXISTING STORM SEWER
- ⊧ DENOTES EXISTING WATER MAIN
- ⊨ DENOTES UNDERGROUND ELECTRIC LINE
- ⊩ DENOTES BUILDING SETBACK LINE, AS NOTED
- ⊪ DENOTES BITUMINOUS SURFACE
- ⊫ DENOTES CONCRETE SURFACE
- ⊬ DENOTES ADJACENT PARCEL OWNER INFORMATION (PER WRIGHT COUNTY TAX INFORMATION)



E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: JOSEPH T RADACH PE
SIGNATURE: *JTR*
DATE: 03/06/24 LIC #: 45889

REVISIONS	BY	DATE
1.	JTR	03/06/24
2.		
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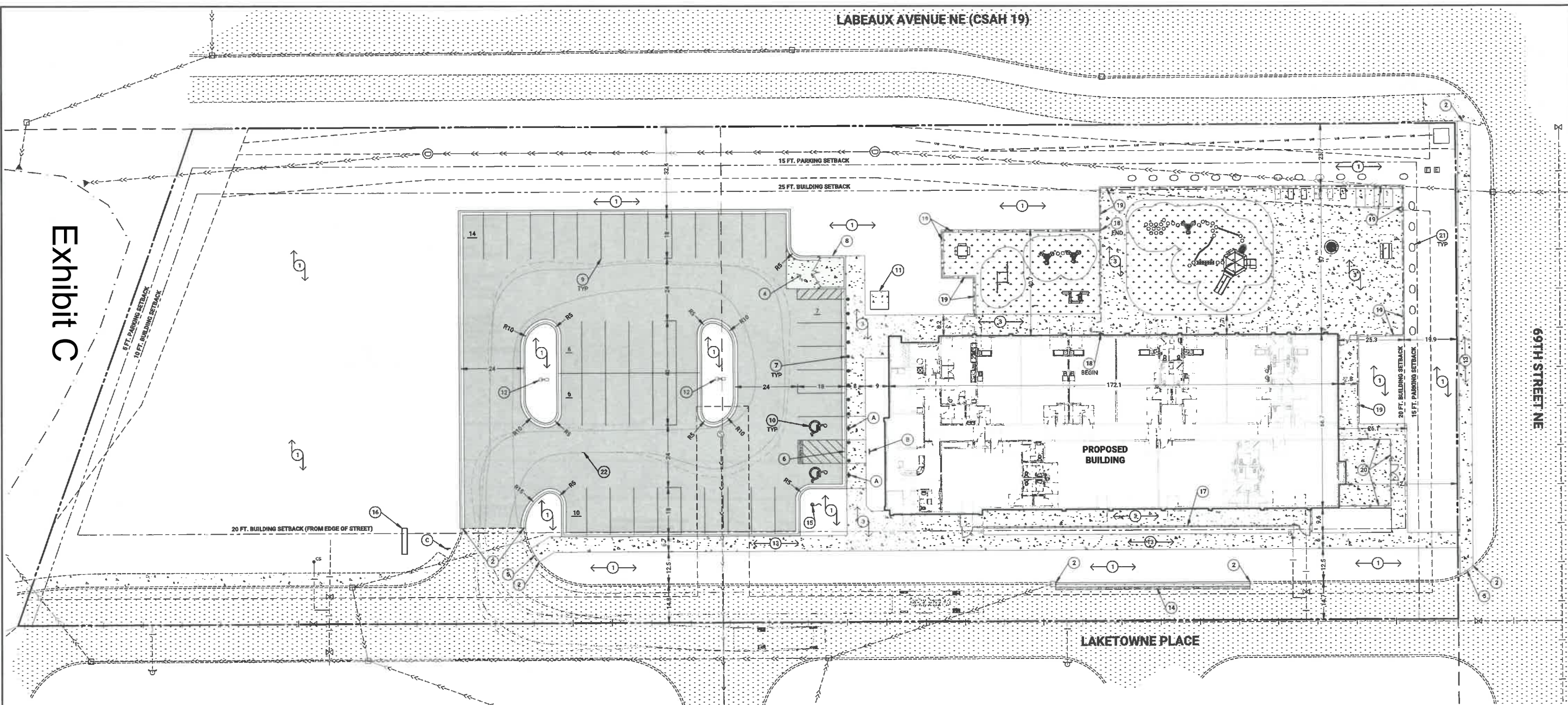
OPPIDAN
400 WATER STREET, SUITE 200
EXCELSIOR, MN 55331

OWNER

SITE PLAN
EVERBROOK ACADEMY
ALBERTVILLE, MINNESOTA

SHEET NUMBER
C2.1

Exhibit C



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	BITUMINOUS PAVEMENT
---	---	CONCRETE WALK/STOOP
---	---	CONCRETE PAVEMENT
---	---	CURB LINE
---	---	STORM SEWER
---	---	SANITARY SEWER
---	---	WATER MAIN
---	---	UNDERGROUND ELECTRIC
---	---	UNDERGROUND GAS
---	---	STORM CATCH BASIN
---	---	STORM MANHOLE
---	---	HYDRANT
---	---	GATE VALVE
---	---	LIGHT POLE
---	---	OTHER SYMBOLS

SITE PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB AND OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- TYPICAL PARKING STALLS ARE 9' X 18' UNLESS OTHERWISE NOTED.
- ALL PEDESTRIAN RAMPS SHALL MEET CURRENT ADA STANDARDS.
- UNLESS OTHERWISE SHOWN IN THE PLANS, CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS, AND DRIVES PER THE FOLLOWING REQUIREMENTS:
 - CONTROL JOINTS: WALKS @ 8' SPACING
OTHERS @ 10' SPACING
 - SAWCUT CONTROL JOINTS MINIMUM 1/4" CONCRETE THICKNESS.
 - EXPANSION JOINTS: WALKS @ 24' SPACING
OTHERS @ 40' SPACING

PROVIDE EXPANSION JOINT AT ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS AND WHERE NEW PAVEMENT WILL MATCH EXISTING PAVEMENT.

DOWEL ALL EXPANSION JOINTS AT 24" SPACING MAX.

SIGNAGE AND PAVEMENT MARKING NOTES

- ALL SIGNS SHALL BE PLACED 18" MINIMUM BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- SIGNS SHALL INCLUDE HARDWARE, POST, FOOTING, CASING, AND ALL APPURTENANCES REQUIRED FOR TYPICAL INSTALLATION.
- PARKING LOT STRIPING AND PAVEMENT MARKINGS SHALL BE 4" SOLID WHITE PAINT. ALL PAVEMENT LETTERING SHALL BE 12" HEIGHT.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

SIGN SCHEDULE

A. HANDICAP PARKING SIGN ON: 6' CONCRETE BOLLARD	R7-8m W/R7-8b (12' X 18')
B. NO PARKING SIGN:	RB-3a (12' X 18')
C. STOP SIGN:	R1-1 (30' X 30')

PARKING SUMMARY

STANDARD STALLS:	41
HANDICAP STALLS:	2
TOTAL STALLS:	43

- KEYNOTES**
- SEE ARCHITECTURAL SITE PLANS FOR ADDITIONAL SITE PLAN NOTES.
 - LANDSCAPE AREA. SEE LANDSCAPE PLAN.
 - MATCH EXISTING CURB/SIDEWALK/PAVEMENT.
 - 4" CONCRETE WALK/PATIO.
 - 6" CONCRETE PAVEMENT/APRON.
 - PEDESTRIAN CURB RAMP WITH TRUNCATED DOMES.
 - PEDESTRIAN CURB RAMP, STANDARD.
 - 6" CONCRETE FILLED PIPE BOLLARD.
 - TRASH ENCLOSURE.
 - 4" SOLID WHITE LINE.
 - SOLID WHITE PAVEMENT MARKING.
 - TRANSFORM PAD. FINAL LOCATION TO BE CONFIRMED BY CONTRACTOR AND ELECTRIC PROVIDER.
 - LIGHT POLE AND BASE.
 - 6 FT. WIDE, 4" CONCRETE SIDEWALK.
 - FLAG POLE PER OWNER.
 - MONUMENT SIGN.
 - 4 FT. ORNAMENTAL ALUMINUM FENCE, BLACK.
 - 4 FT. VINYL COATED CHAIN LINK FENCE, BLACK.
 - 6 FT. PRIVATE VINYL FENCE, WHITE.
 - 7 FT. SEMI PRIVATE VINYL FENCE, WHITE.
 - LANDSCAPE BOULDERS. SEE LANDSCAPE PLAN.
 - GARBAGE TRUCK VEHICLE PATH ANALYSIS.

TURNING MOVEMENTS ANALYSIS VEHICLE

Rear-Load Garbage Truck	35.000ft
Overall Length	8.375ft
Overall Width	10.546ft
Overall Body Height	1.000ft
Min Body Ground Clearance	8.374ft
Track Width	6.000ft
Lock-to-lock Time	29.500ft
Curb to Curb Turning Radius	



CALL BEFORE YOU DIG

811

Know what's below.
Call before you dig.

BENCHMARK

MINNESOTA DEPARTMENT OF TRANSPORTATION
GSD STATION #50367, NAMED FIELD MNDT
ELEVATION: 862.94 (NAVD 88)

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NAME: JOSEPH T RADACH PE
SIGNATURE: [Signature]
DATE: 03/06/24 LIC #: 45889

BY: JTR

ISSUE DATE: 03/06/24

REVISIONS	DATE	DESCRIPTION
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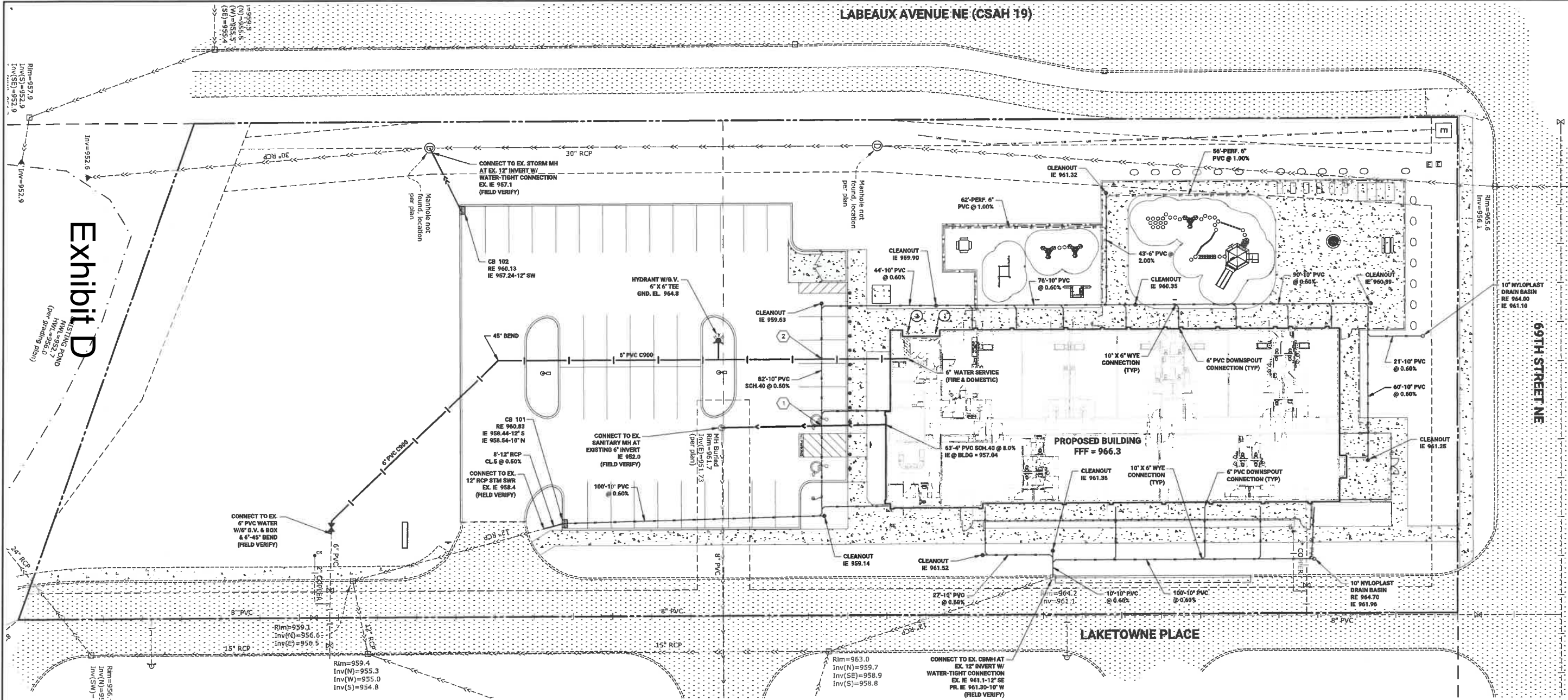
OWNER
OPPIDAN
400 WATER STREET, SUITE 200
EXCELSIOR, MN 55331

UTILITY PLAN

EVERBROOK ACADEMY
ALBERTVILLE, MINNESOTA

SHEET NUMBER
C3.1

Exhibit D
INSTALLING POND
MNL=952.7
HWL=952.0
(for grading plan)



LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	BITUMINOUS PAVEMENT
[Symbol]	[Symbol]	CONCRETE WALK/STOOP
[Symbol]	[Symbol]	CONCRETE PAVEMENT
[Symbol]	[Symbol]	CURB LINE
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	[Symbol]	UNDERGROUND GAS
[Symbol]	[Symbol]	STORM CATCH BASIN
[Symbol]	[Symbol]	STORM MANHOLE
[Symbol]	[Symbol]	HYDRANT
[Symbol]	[Symbol]	GATE VALVE
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	OTHER SYMBOLS

- UTILITY PLAN NOTES**
- SANITARY SEWER, WATER MAIN, AND STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY'S STANDARD DETAIL SPECIFICATIONS AND THE MINNESOTA PLUMBING CODE.
 - A MINIMUM OF 7.5 FEET OF COVER SHALL BE REQUIRED FOR ALL WATER MAIN AND FORCEMAIN.
 - FIRE HYDRANTS AND GATE VALVES SHALL BE IN ACCORDANCE WITH THE CITY'S REQUIREMENTS.
 - A MINIMUM OF 2.0 FEET OF VERTICAL SEPARATION SHALL BE REQUIRED FOR ALL UTILITY CROSSINGS.
 - USE SOLID-CORE, SDR-35, ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER AND SANITARY SEWER WITH APPROVED FITTINGS UNLESS OTHERWISE NOTED.
 - PVC PIPE DESIGNATED AS PVC SCHEDULE 40, SHALL MEET THE REQUIREMENTS OF ASTM D2665 FOR SCHEDULE 40.
 - ALL ROOF DRAIN DOWNSPOUT CONNECTIONS SHALL BE PVC SCHEDULE 40.
 - ALL WATER MAIN WORK AND TESTING SHALL BE COORDINATED WITH THE CITY'S PUBLIC WORKS DEPARTMENT.
 - ALL WATER MAIN MUST HAVE A CONDUCTIVITY TEST, HYDROSTATIC TEST, AND BACTERIA TEST BEFORE THE PROJECT IS COMPLETE AND TURNED ON.
 - FINAL BUILDING UTILITY SERVICES AND DOWNSPOUT LOCATIONS SHALL BE VERIFIED WITH ARCHITECTURAL AND PLUMBING PLANS.
 - LOCATING WIRES SHALL BE INSTALLED ON ALL NON-CONDUCTIVE STORM SEWER, SANITARY SEWER, AND WATER LINES IN ACCORDANCE WITH THE MINNESOTA RURAL WATER ASSOCIATION (MRWA) TRACE WIRE SPECIFICATION GUIDE AND DETAILS.
 - INSTALL METER BOX FRAME AND SOLID LID (FORD SERIES A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
 - ALL WORK WITHIN THE ADJACENT STREET RIGHTS OF WAY MUST BE COORDINATED WITH AND APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT.

- KEYNOTES**
- ELECTRIC SERVICE AND METER LOCATION.
 - GAS SERVICE AND METER LOCATION.

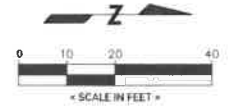
STORM SEWER SCHEDULE

STRUCTURE NO.	SIZE	NEENAH CASTING OR EQUAL
CB 101	24" X 36"	R-3057-VB
CB 102	24" X 36"	R-3057-VB

UTILITY CROSSINGS

1. TOP 4" SEWER:	955.5
BTM 10" STORM:	959.3
SEPARATION:	3.8
2. TOP 6" WATER:	957.5
BTM 10" STORM:	959.5
SEPARATION:	2.0

BENCHMARK
MINNESOTA DEPARTMENT OF TRANSPORTATION
GSD STATION #93937, NAMED FIELD MNDT
ELEVATION: 862.94 (NAVD 88)



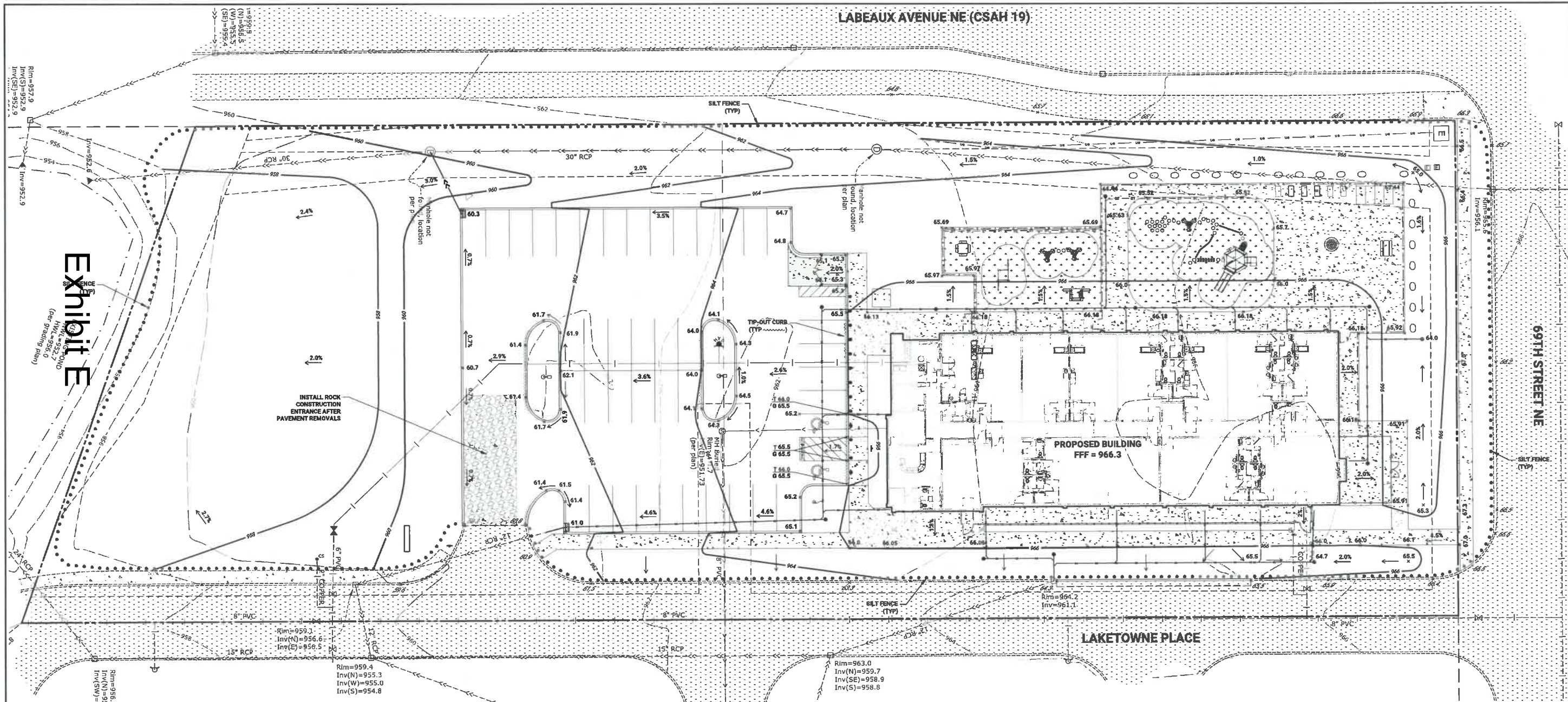


Exhibit E

LEGEND		
EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		BITUMINOUS PAVEMENT
		CONCRETE WALK/STOOP
		CONCRETE PAVEMENT
		CURB LINE
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
		UNDERGROUND ELECTRIC
		UNDERGROUND GAS
		STORM CATCH BASIN
		STORM MANHOLE
		HYDRANT
		GATE VALVE
		LIGHT POLE
		OTHER SYMBOLS
		1' CONTOUR
		2' CONTOUR
		SPOT ELEVATION (CURB ELEVATIONS ARE TO GUTTER LINE)
		SILT FENCE
		ROCK ENTRANCE

- GOVERNING SPECIFICATIONS**
- THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND THE CITY OF OTSEGO SPECIFICATIONS.
 - THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
 - THE LATEST EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS.

- GRADING NOTES**
- VEHICLE TRACKING REDUCTION DEVICE, SILT FENCE, AND EXISTING CATCH BASIN INLET PROTECTION SHALL BE INSTALLED PRIOR TO GRADING CONSTRUCTION, AND SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
 - CONTRACTOR SHALL STRIP, STOCKPILE AND RESPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM OF 6" OF TOPSOIL OVER ALL DISTURBED AREAS THAT WILL BE SODDER, SEED, OR LANDSCAPED.
 - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED.
 - ALL SLOPES STEEPER THAN 3:1 SHALL HAVE MNDOT CAT.1 EROSION CONTROL BLANKET AND SEED, OR APPROVED EQUAL.
 - STOCKPILES SHALL BE STABILIZED WITHIN 7 DAYS OF ROUGH GRADING OR INACTIVITY.
 - ALL WORK WITHIN THE ADJACENT STREET RIGHTS OF WAY MUST BE COORDINATED WITH AND APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT.

BENCHMARK
 MINNESOTA DEPARTMENT OF TRANSPORTATION
 GSD STATION #50367, NAMED FIELD MNDT
 ELEVATION: 862.94 (NAVD 88)



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 NAME: JOSEPH T RADACH PE
 SIGNATURE: [Signature]
 DATE: 03/06/24 LIC # 45889

REVISIONS	ISSUE DATE: 03/06/24	BY: JTR
1.		
2.		
3.		
4.		
5.		
6.		
7.		

OWNER
OPPIDAN
 400 WATER STREET, SUITE 200
 EXCELSIOR, MN 55331

GRADING & DRAINAGE PLAN
EVERBROOK ACADEMY
 ALBERTVILLE, MINNESOTA
 SHEET NUMBER
C4.1

PER THE CITY OF ALBERTVILLE LANDSCAPE ORDINANCE, REQUIRED LANDSCAPE QUANTITIES FOR THIS PROJECT ARE DETERMINED BY USING 2% OF THE TOTAL PROJECT VALUE. THE DEVELOPER WILL PROVIDE ADDITIONAL INFORMATION ON OVERALL PROJECT COSTS AND TOTAL LANDSCAPE VALUES.

TREES WILL BE PLANTED AT THE MINIMUM SIZES AS SHOWN ON THE PLANT SCHEDULE. PROPOSED MINIMUM SIZES ARE:

- 2.0' CAL. MINIMUM FOR DECIDUOUS TREES
- 1.5" CAL. MINIMUM FOR ORNAMENTAL TREES
- 3-4' MINIMUM HEIGHT FOR CONIFEROUS TREES

LANDSCAPE CALCULATIONS:

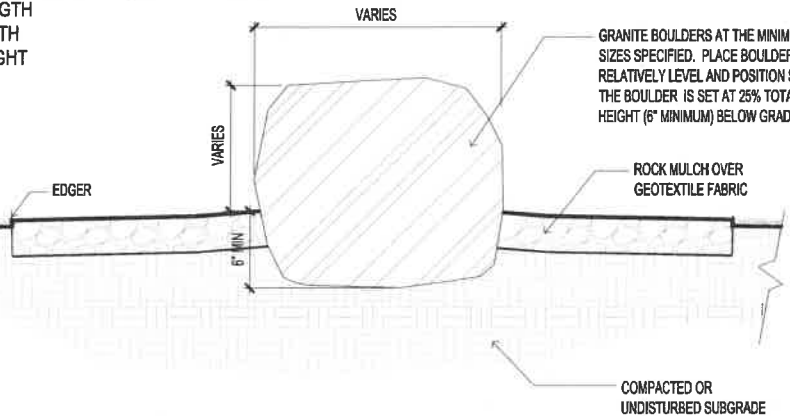
GRAPHIC	MATERIAL	SPECIFICATION	NOTES
	ROCK MULCH	1.5" DIAMETER GRANITE RIVER ROCK MULCH	3" DEPTH
	SOD	BLUEGRASS BLEND PEAT SOD	N/A
	TURF SEEDING	MN/DOT TURF SEED MIX #25-151 AT 200LBS/ACRE	N/A

GROUNDCOVER SCHEDULE:

INSTALL A TOTAL OF 19 GRANITE BOULDERS AT 8' ON CENTER AS SHOWN ON PLAN. BOULDERS SHALL MEET THE MINIMUM SIZES SHOWN BELOW:

- 48" LENGTH
- 30" WIDTH
- 30" HEIGHT

Exhibit F



1 ACCENT BOULDERS
SCALE: 1 1/2" = 1'-0"

PLANT SELECTIONS: SUBSTITUTIONS WILL BE CONSIDERED ONLY IF REQUESTED PRIOR TO BIDDING OF THE PROJECT. THE CONTRACTOR SHALL VERIFY AVAILABILITY OF THE SPECIFIED MATERIALS AND INFORM THE LANDSCAPE ARCHITECT OF ANY CONCERNS PRIOR TO SUBMITTING A BID.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE NURSERY STOCK STANDARDS AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA).

UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED SHRUB HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'Y' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE THE ROOT FLARE. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE THE ROOT FLARE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL HAVE A FULL, NATURAL FORM CONSISTENT WITH THE SPECIES.

THE LANDSCAPE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF ANY DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

STORAGE OF PLANTS ON CONSTRUCTION SITE: PLANTS SHALL NOT BE STORED ON SITE FOR EXTENDED TIME PERIODS. IF PLANTINGS CANNOT BE PLACED IN THE GROUND, AND WELL WATERED THAT SAME DAY, THE PLANTINGS SHALL HAVE MOIST MULCH COVERING THE ROOTS AT ALL TIMES.

PLANTING INSTRUCTIONS: ALL PLANTINGS SHALL BE INSTALLED PER THE PLANTING DETAILS AS SHOWN IN THESE CONSTRUCTION DOCUMENTS. PARTICULAR ATTENTION WILL BE PAID TO OVERSIZING THE PLANTING HOLE AND CREATION OF A WATERING WELL TO ALLOW SOAKING OF THE PLANTING BACKFILL FOR EACH PLANTING.

EDGING AND MAINTENANCE STRIPS: BLACK POWDER COATED STEEL EDGER TO BE USED TO CONTAIN SHRUBS AND MAINTENANCE STRIP AREAS.

MAINTENANCE STRIPS SHALL HAVE EDGER AND MULCH AS SPECIFIED OR AS INDICATED ON DRAWINGS.

MULCHING:

A 3" DEPTH OF RIVER ROCK MULCH SHALL BE CLEAN AND FREE OF ANY SIGNIFICANT DIRT, SOIL, OR ORGANIC MATTER THAT WILL PROMOTE WEED GROWTH. HIGH QUALITY GEOTEXTILE FABRIC, WITH EDGES OVERLAPPED AT LEAST 12", SHALL BE PLACED UNDER ALL ROCK MULCH.

ALL TREES SHALL HAVE A MULCH RING (MINIMUM 48" DIAMETER) OF 4" DEEP SHREDDED HARDWOOD MULCH WITH NONE IN DIRECT CONTACT WITH TREE TRUNK.

STAKING:

STAKING OF THE TREES IS OPTIONAL, BUT THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CORRECTING ANY TREES THAT FALL OUT OF PLUMB DURING THE WARRANTY PERIOD.

REMOVAL OF TAGGING:

ALL TAGGING AND PLANT LABELS SHALL BE REMOVED AFTER PLANTING. BALLED AND BURLAPPED PLANTINGS SHALL HAVE ANY ROPE REMOVED FROM THE TRUNK AND THE TOP OF THE WIRE CAGE REMOVED FROM THE BALL AFTER PLACEMENT IN THE PLANTING PIT.

WARRANTY PERIOD:

ALL PLANTING SHALL BE COVERED BY A ONE YEAR WARRANTY PERIOD TO COVER REPLACEMENT OF ANY PLANTINGS THAT HAVE DIED OR ARE SHOWING OBVIOUS SIGNS OF STRESS AT THE WARRANTY INSPECTION. REPLACEMENT OF ANY FAILED PLANTINGS INCLUDES RE-ESTABLISHING CLEAN MULCH AROUND ANY REMOVALS AND OFF-SITE DISPOSAL OF ANY MATERIALS.

IRRIGATION:

ALL PLANTING AREAS SHALL BE COVERED BY AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM WITH PROGRAMMABLE CONTROL STATION, RAIN SENSOR, AND SEPARATE ZONES FOR PLANTINGS.

SODDING

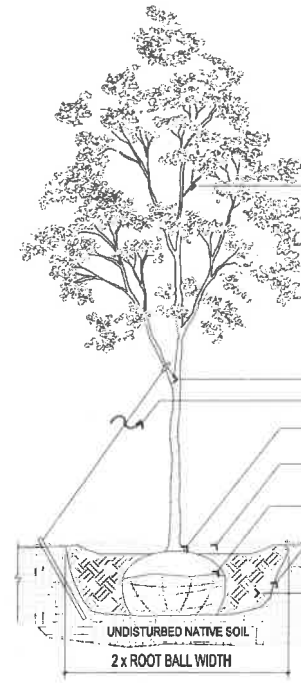
ALL TURF AREAS SHALL BE BLUEGRASS SOD LAID PERPENDICULAR TO ANY SLOPES. STAGGER JOINTS AT LEAST 2' AND STAKE IF NEEDED TO KEEP FROM BEING DISPLACED BY HEAVY RAIN.

SEEDING

ALL AREAS SHOWN FOR SEEDING SHALL BE HYDOMULCHED AFTER SEEDING IS PLACED USING A DRILL SEEDER (BRILLION OR OTHER). APPLY SEED IN TWO DIRECTIONS TO ENDURE FULL COVERAGE. ANY SLOPES OVER 4:1 SHALL HAVE STRAW EROSION BLANKET STAPLED IN PLACE.

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DECIDUOUS TREES						
PRE	4	PRINCETON ELM	Ulmus americana 'Princeton'	2.0" CAL	B&B	SINGLE STEM
RED	5	REDPOINT MAPLE	Acer rubrum 'Redpoint'	2.0" CAL	B&B	SINGLE STEM
SWO	6	SWAMP WHITE OAK	Quercus bicolor	2.0" CAL	B&B	SINGLE STEM
EVERGREEN TREES						
BHS	8	BLACK HILLS SPRUCE	Picea glauca densata	4' HGT	B&B	FULL FORM
PON	3	PONDEROSA PINE	Pinus ponderosa	4' HGT	B&B	FULL FORM
ORNAMENTAL TREES						
SSC	2	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	1.5" CAL.	POT	5' O.C.

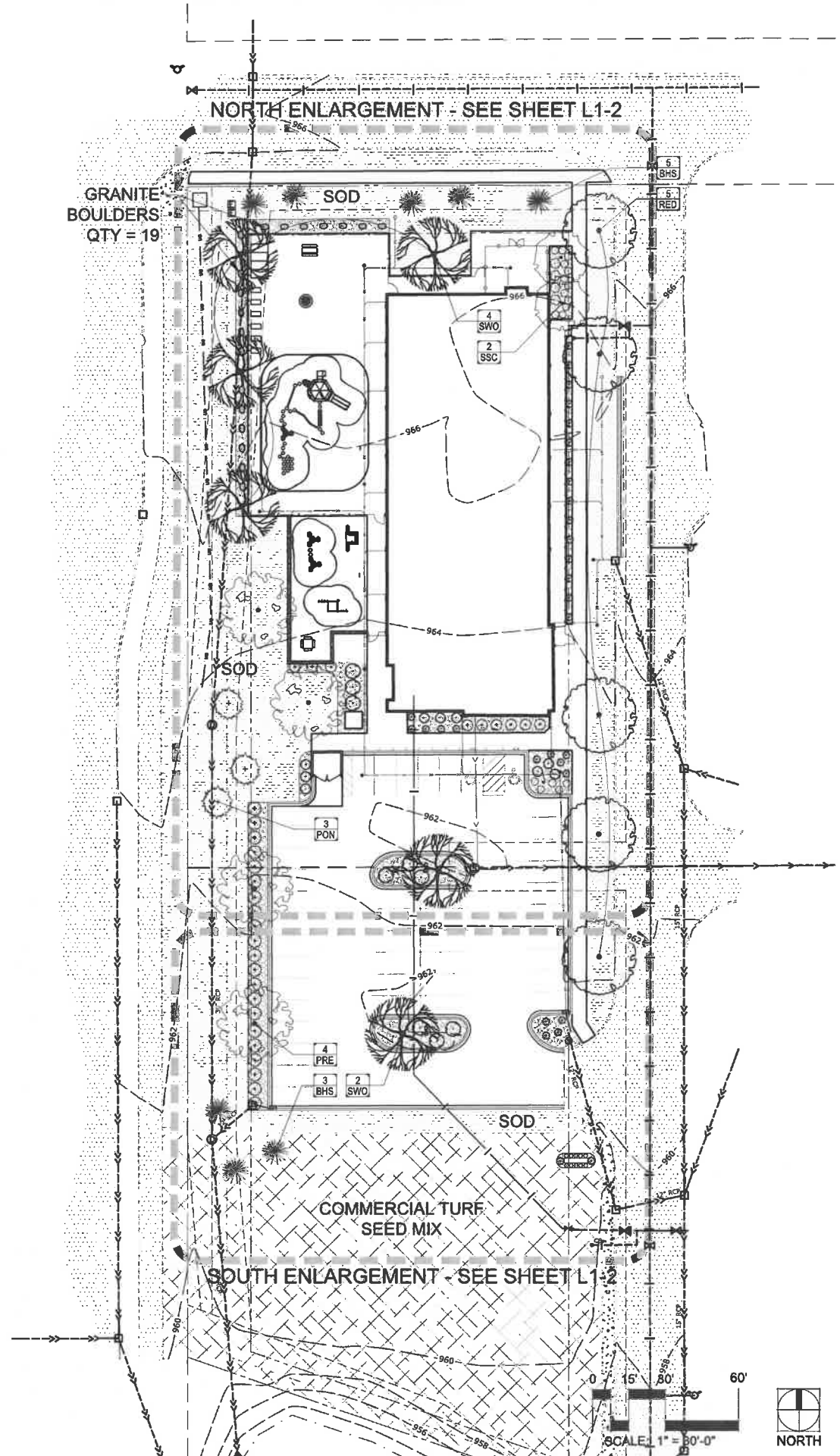
TREE PLANTING SCHEDULE:



2 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"



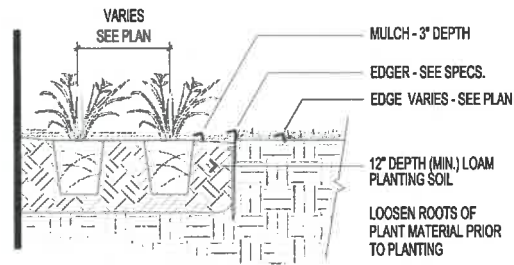
3 CONIFEROUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"



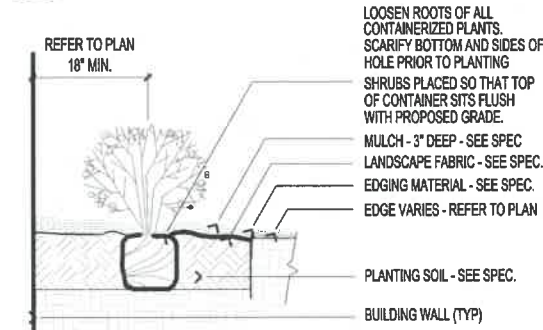
TREE PLANTING AND OVERALL LANDSCAPE PLAN:

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DECIDUOUS SHRUBS						
ANH	4	ANNABELLE HYDRANGEA	<i>Hydrangea arborescens 'Annabelle'</i>	24"	POT	5' O.C.
AWS	9	ANTHONY WATERER SPIREA	<i>Cornus sericea 'Balladine'</i>	24"	POT	5' O.C.
DBH	6	DWARF BUSH-HONEYSUCKLE	<i>Diervilla lonicera</i>	24"	POT	5' O.C.
FDO	3	FIREDANCE DOGWOOD	<i>Cornus sericea 'Balladine'</i>	24"	POT	5' O.C.
CONIFEROUS SHRUBS						
DFJ	9	DAUB'S FROSTED JUNIPER	<i>Juniperus x pfitzeriana 'MonSan'</i>	5 GAL	POT	5' O.C.
SGJ	22	SEA GREEN JUNIPER	<i>Juniperus horizontalis 'Sea Green'</i>	5 GAL	POT	6' O.C.
PERENNIALS AND GRASSES						
HOF	12	HOSTA - FRANCES WILLIAMS	<i>Hosta x 'Frances Williams'</i>	1 GAL	POT	24" O.C.
KFG	27	KARL FOERSTER GRASS	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 GAL	POT	24" O.C.
SED	5	SEDUM - AUTUMN JOY	<i>Sedum x 'Autumn Joy'</i>	1 GAL	POT	24" O.C.
STD	10	STELLA d' ORO DAYLILY	<i>Hemerocallis x 'Stella d' Ore'</i>	1 GAL	POT	24" O.C.

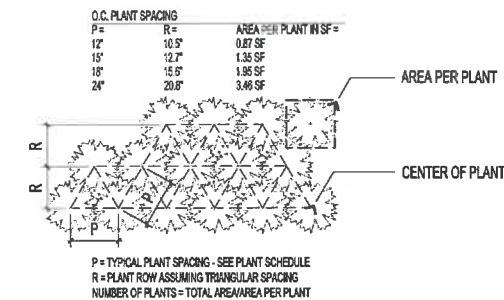
PLANTING SCHEDULE: [REDACTED]



1 PERENNIAL PLANTING
L1-2 SCALE: 3/4" = 1'-0"

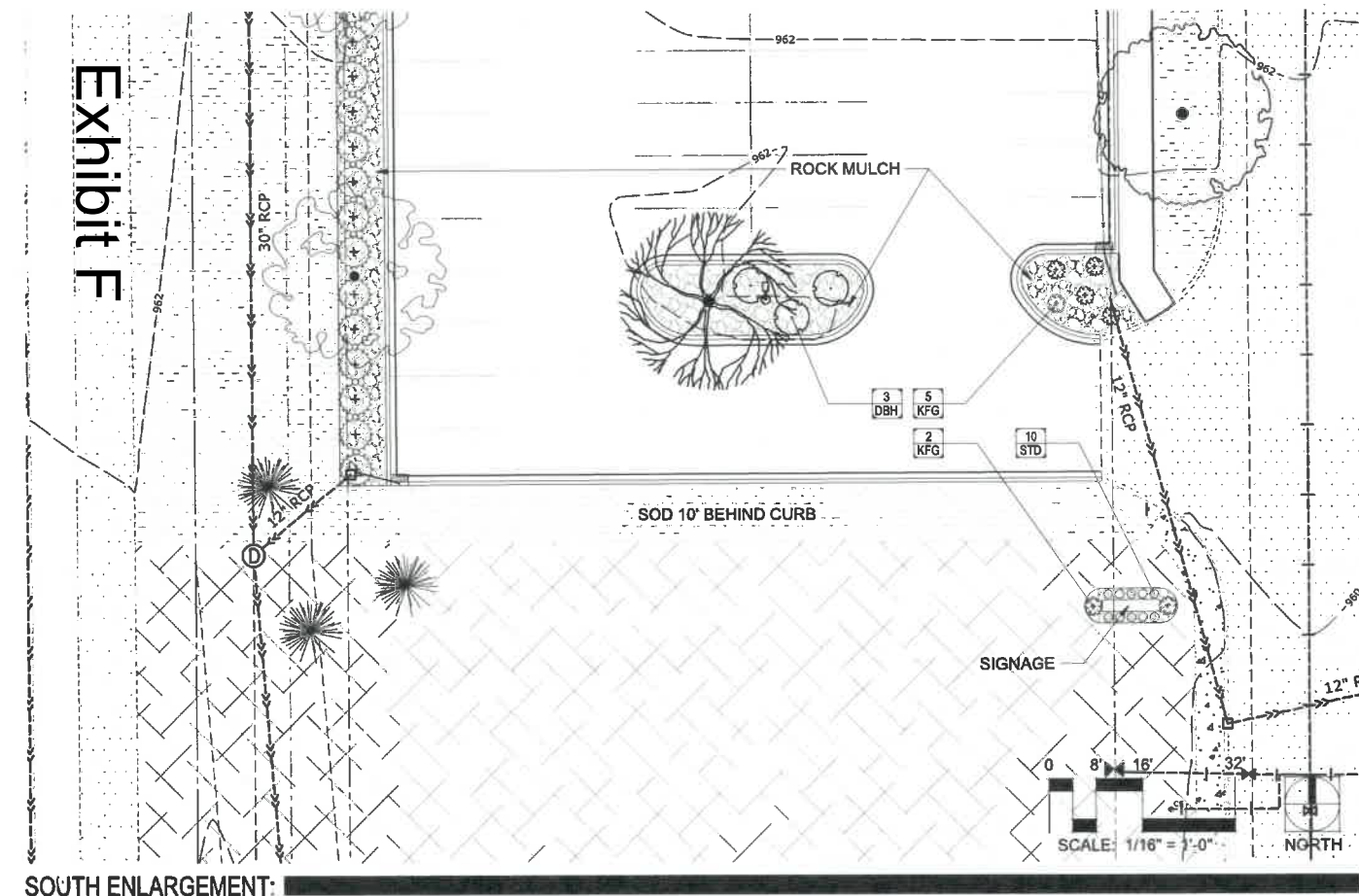


2 SHRUB PLANTING DETAIL
L1-2 SCALE: 3/4" = 1'-0"

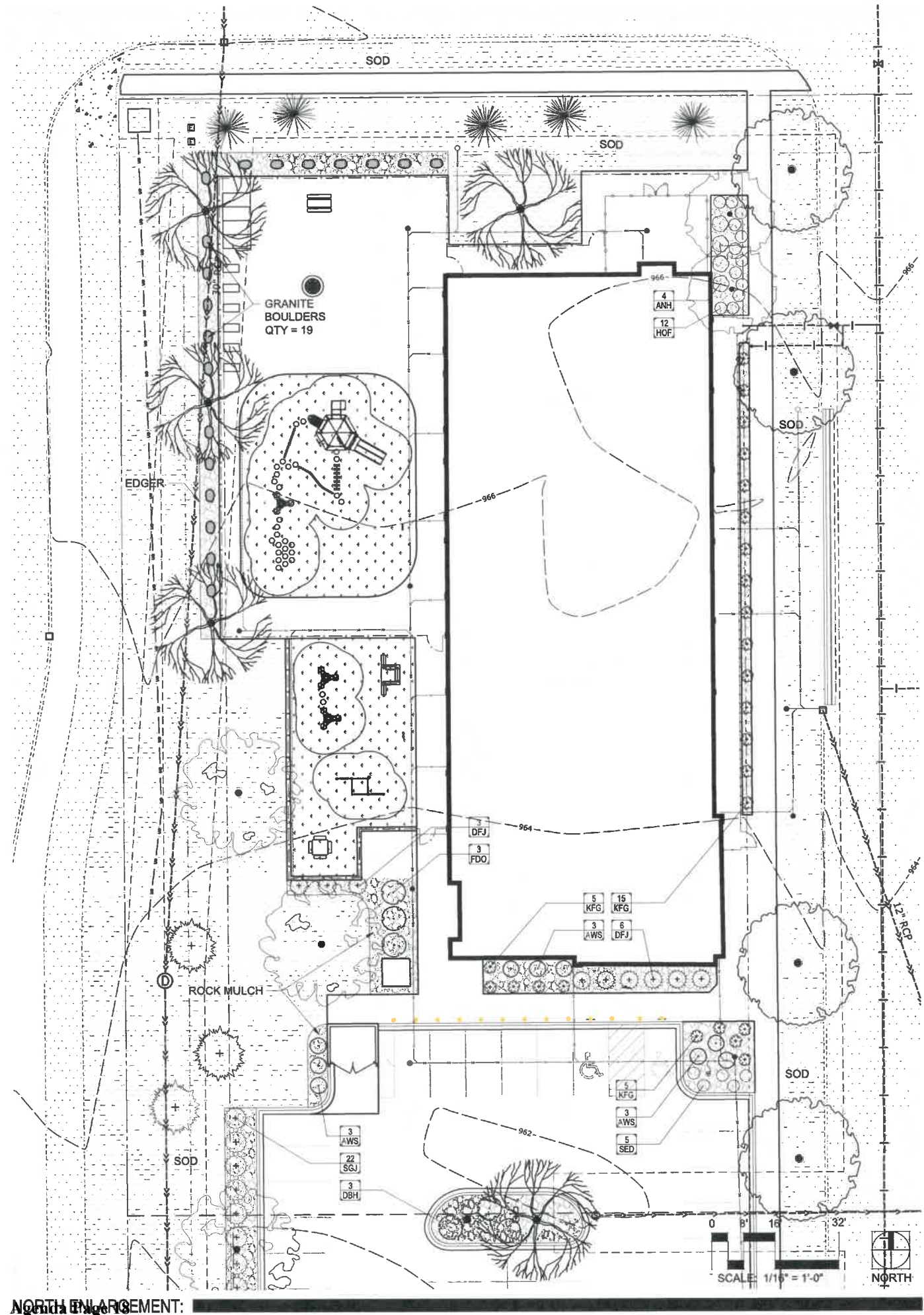


3 PERENNIAL SPACING GUIDELINES
L1-2 SCALE: 3/4" = 1'-0"

PLANTING DETAILS: [REDACTED]

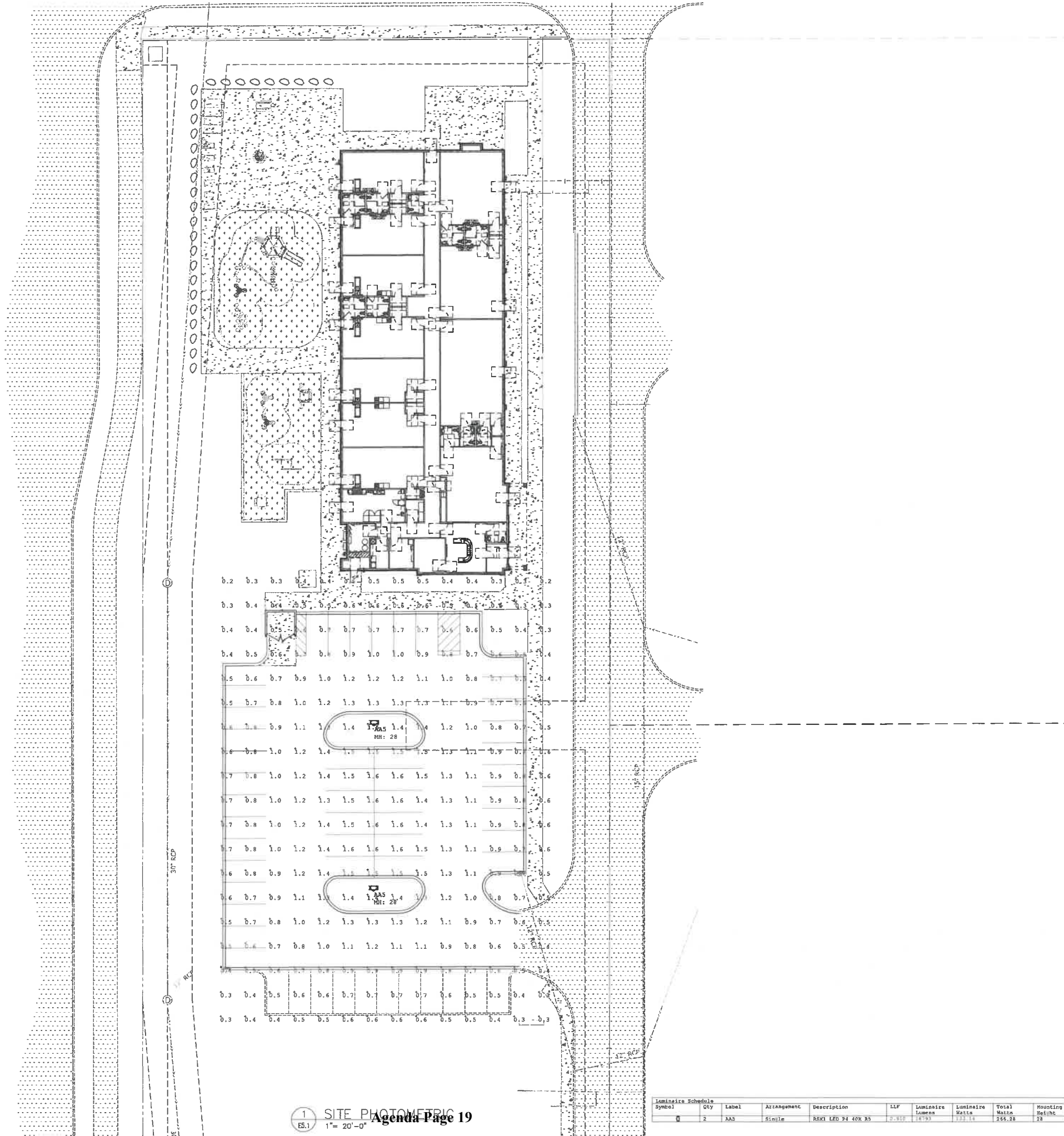


SOUTH ENLARGEMENT: [REDACTED]



NORTH ENLARGEMENT: [REDACTED]

Exhibit G



www.stinsonelectricinc.com

EVERBROOK

ALBERTVILLE, MN

DATE: 02-02-2024
 I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED MASTER ELECTRICIAN UNDER THE LAWS OF THE STATE OF MINNESOTA.

ROBERT ARCHAMBAULT
 REGISTRATION NO: AM692332

STINSON electric inc.
 612.788.0244
 750 4th St. NW
 New Brighton, MN 55112

DATE: 02-02-2024

DESIGN DEVELOPMENT

MARK	DATE	DESCRIPTION
	02/02/2024	For Review

PROJECT NO: C2000c
 CAD DWG FILE:
 DRAWN BY: CW
 CHK'D BY: BA
 COPYRIGHT:

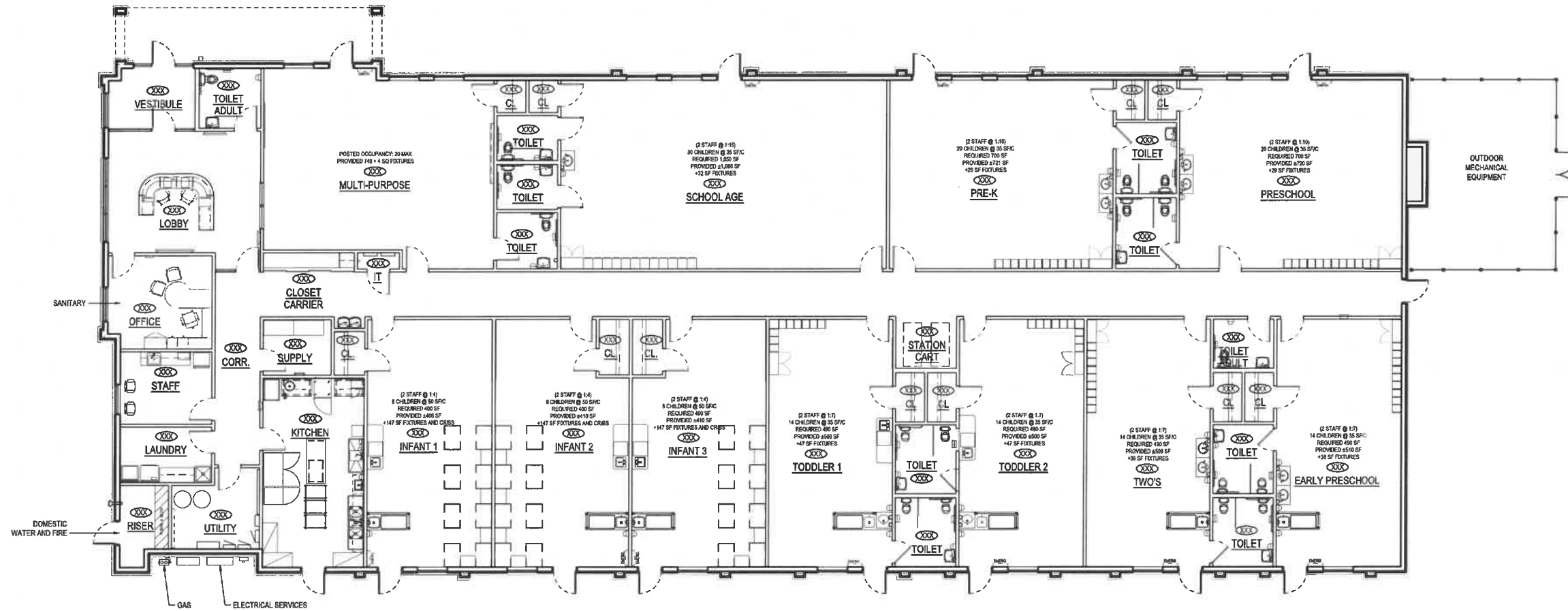
SHEET TITLE

SITE PHOTOMETRIC
E5.1

Exhibit H

OCCUPANCY - MINNESOTA										
ROOM:	RM. #	AGES:	RATIO	AREA PER CHILD (SF)	STATE MAX GROUP SIZE	PLAN MAX CAPACITY	STAFF REQ'D	MIN. AREA (SF)	PROVIDED AREA (SF)	
INFANT 1	XXX	6w-16m	1:4	50	8	8	2	400	406	
INFANT 2	XXX	6w-16m	1:4	50	8	8	2	400	410	
INFANT 3	XXX	6w-16m	1:4	50	8	8	2	400	410	
TODDLER 1	XXX	16m-33m	1:7	35	14	14	2	490	500	
TODDLER 2	XXX	16m-33m	1:7	35	14	14	2	490	500	
TWO'S	XXX	16m-33m	1:7	35	14	14	2	490	509	
EARLY PRESCHOOL	XXX	16m-33m	1:7	35	14	14	2	490	510	
PRESCHOOL	XXX	33m-kinder.	1:10	35	20	20	2	700	718	
PRE-K	XXX	33m-kinder.	1:10	35	20	20	2	700	719	
SCHOOL AGE	XXX	kinder.+	1:15	35	30	30	2	1,050	1,066	
				TOTALS	150	20	5,610	5,748		

BUILDING DATA	
BASE BUILDING AREA:	11,758 SF
NOTE: PROVIDED CLASSROOM AREA HAS BEEN CALCULATED INCLUDING THE SPACE OCCUPIED BY BUILT-IN FIXTURES AND CRIBS AS PER STATE REGULATIONS.	



1
A1.0 FIXTURE PLAN
SCALE: 1/8" = 1'-0"

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MINNESOTA V4 PROTOTYPE

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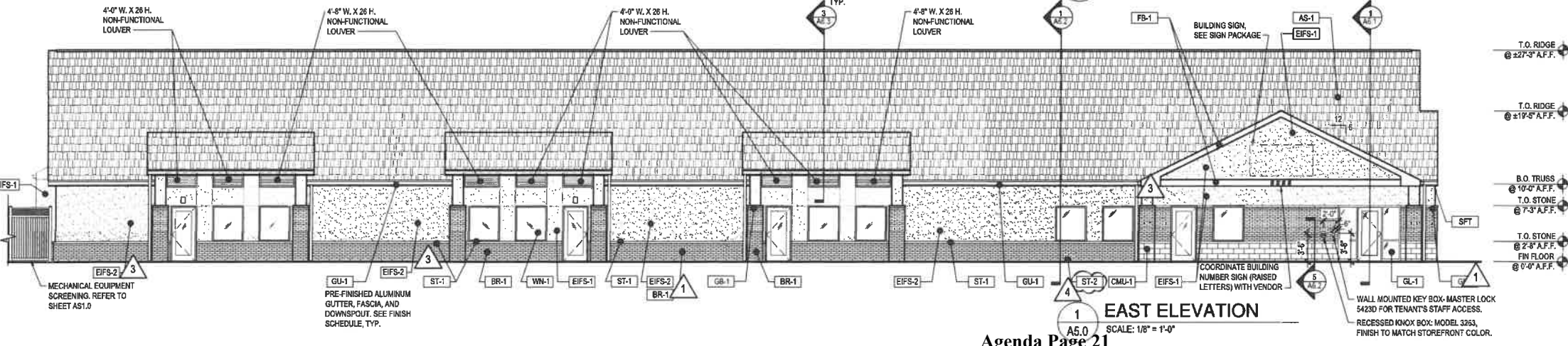
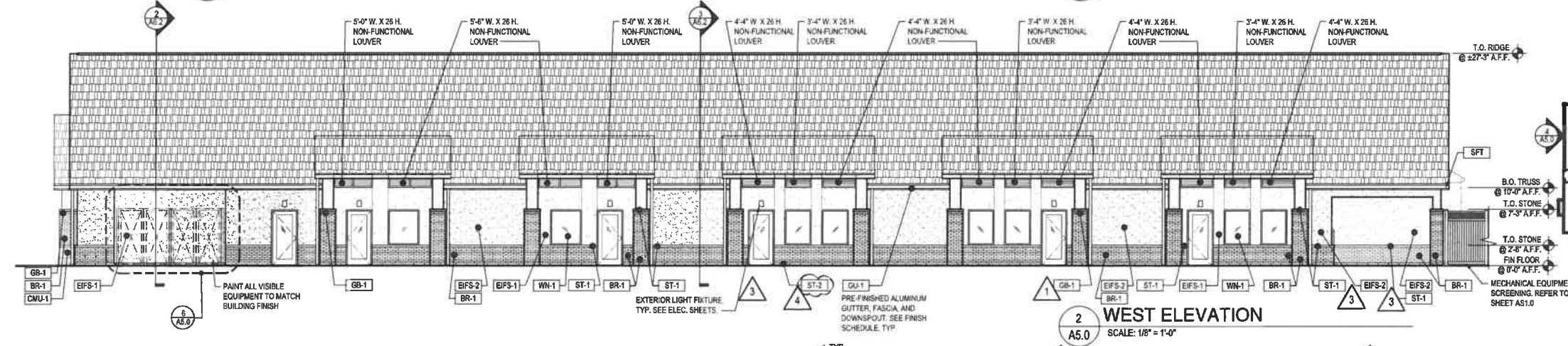
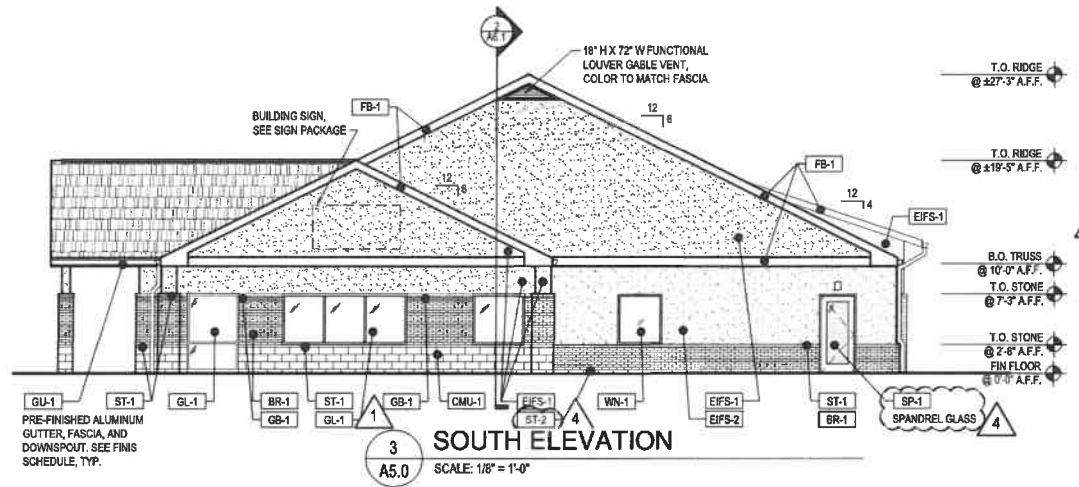
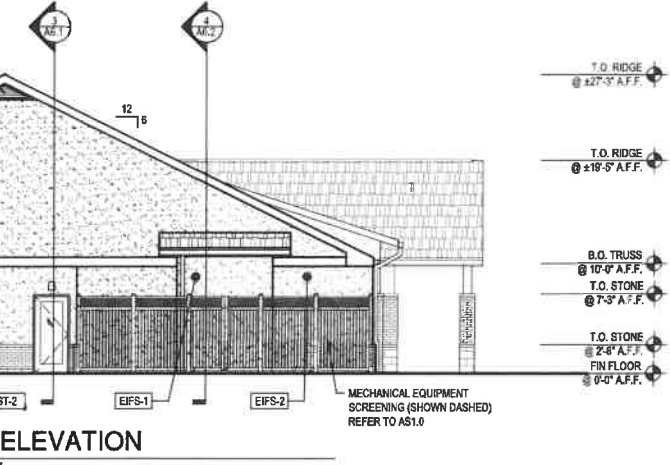
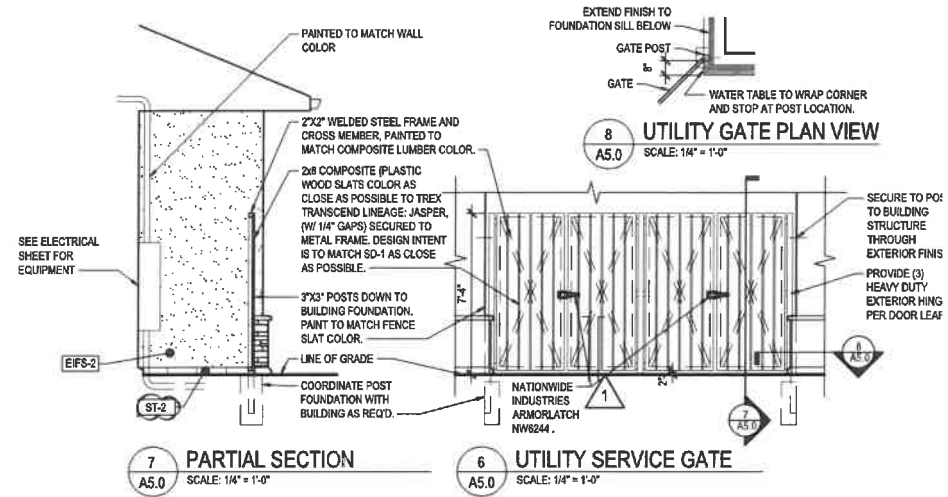
REVISIONS

#	DATE	TYPE
1		
2		
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FIXTURE PLAN

DATE 03/13/2023
JOB NO. 19516

FP-1
SHEET NO.

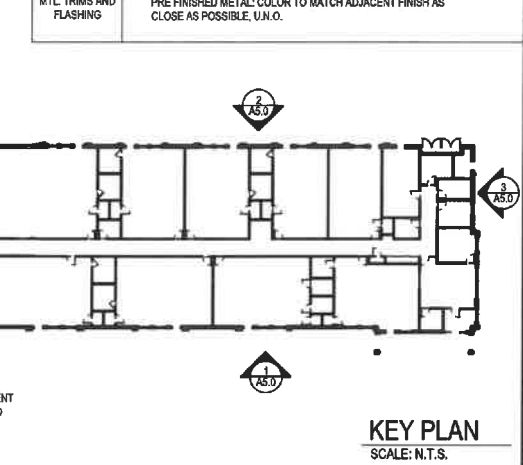


EXTERIOR ELEVATIONS GENERAL NOTES

- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
- ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.
- GC SHALL PAINT ANY EXPOSED PIPES, CONDUITS, OR UTILITY BOXES THAT ARE VISIBLE FROM THE SITE TO MATCH ADJACENT BUILDING EXTERIOR FINISH.

EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BR-1	BRICK: BELDEN, 671 VELOUR
CMU-1	OHIO SPLIT FACE CMU: WHITE BY ECHELON MASONRY OR APPROVED SIMILAR
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: COLOR: #111 FRAMIE CLAY
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #142ST SPECTRUM BROWN
FB-1	FASCIA BOARD: HARDIE, COLOR: AGED PEWTER
GB-1	GLAZED BRICK: BELDEN, TRITON GLAZE, SMOOTH, COLOR: BLUE (TWO COURSES)
GL-1	CLEAR ANODIZED STOREFRONT SYSTEM, GLAZING COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA (FB-1)
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (FB-1) AS CLOSE AS POSSIBLE
ST-1	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
ST-2	GROUNDFACE: 40YS BY EP HENRY OR EQUAL
WN-1	VINYL WINDOWS, COLOR: ALMOND
SP-1	INSULATED SPANDREL GLASS. APPLY SPANDREL COATING TO GLAZING SURFACE #3. COLOR MEDIUM GREY.
DOOR FRAMES	PAINT INTERIOR FACE OF H.M. DOORS COLOR: SW 7531 CANVAS TAN, U.N.O. PAINT EXTERIOR FACE OF H.M. DOORS AND FRAMES COLOR: TO MATCH THE GLAZED BRICK (GB-1)
DECORATIVE LOUVER	SURFACE MOUNTED PVC VENT - NON FUNCTIONAL STANDARD LOUVER W/ NARROW FLAT TRIM BY "ARCHITECTURAL DEPOT" OR SIMILAR. PRIME & PAINT TO MATCH FASCIA COLOR. (VINYL SAFE 100% ACRYLIC LATEX PAINT)
MTL TRIMS AND FLASHING	PRE FINISHED METAL: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE. U.N.O.



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V4 PROTOTYPE

CITY, STATE, ZIP

STREET ADDRESS

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#	DATE	TYPE	REVISION
1	12/15/2023	PROTOTYPE	PROTOTYPE UPDATES
2	02/21/2024	PROTOTYPE	PROTOTYPE UPDATES
3	08/07/2023	PROTOTYPE	PROTOTYPE UPDATES
4	11/17/2023	PROTOTYPE	PROTOTYPE UPDATES
5			
6			
7			
8			
9			

EXTERIOR ELEVATIONS

DATE: 02/01/2022

JOB NO.: 19516

A5.0

SHEET NO.

Exhibit 1