



**PLANNING COMMISSION MEETING**  
**Tuesday March 12, 2024**  
**7 PM**

**1. CALL TO ORDER - ROLL CALL – ADOPT AGENDA**

**2. MINUTES**

- a. February 13, 2024, Planning Commission Meeting Minutes (pages 2-4)

**3. PUBLIC HEARINGS**

- a. Public hearing to consider a development application of Medart Inc. for an administrative subdivision, easement vacation, and PUD amendment/site and building plan for the development of a 105,157 sq. ft. industrial building on Lots 1 and 2, Block 1, AVA Second Addition. (page 5-23, Exhibits A-J)
- b. Public hearing to consider a sign code text amendment allowing signs within City playfields within Central Park - Tabled from February 13, 2024, Planning Commission meeting. (pages 24-27, Exhibit A)

**4. OTHER BUSINESS**

- a. None

**5. ADJOURNMENT**



**ALBERTVILLE PLANNING COMMISSION**

**TUESDAY, FEBRUARY 13, 2024**

**DRAFT MINUTES**

**ALBERTVILLE CITY HALL 7:00 PM**

**1. CALL TO ORDER – ROLL CALL – ADOPT AGENDA**

Chair Buhrmann called the meeting to order at 7:00 pm.

Maeghan Becker conducted roll call.

**Present:** Chair Buhrmann and Commissioners Anderson, Huggins, Smith, Pinski and Council Liaison Hayden.

**Absent:** None.

**Others Present:** City Planner Al Brixius and Building Permit Technician Maeghan Becker

***Motioned by Huggins, seconded by Anderson to approve the agenda as submitted. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.***

**2. MINUTES**

***Motioned by Smith, seconded by Anderson to approve the October 10, 2023, Planning Commission meeting minutes as presented. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.***

**3. PUBLIC HEARINGS**

**A. Public hearing to consider a zoning text amendment to Section 1000.5.E pertaining to hot tub fence requirements.**

Brixius went through the proposed zoning text amendment which is to removed the fencing requirement for the above ground hot tubs.

Commissioners discussed what restricted access would be for the hot tubs, such as covers and locks, and removal of steps and it would be up to the homeowner to keep it secured.

***Motioned by Anderson, seconded by Smith to open the Public Hearing. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.***

No comment.

***Motioned by Huggins, seconded by Buhrmann to close the Public Hearing. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.***

***Motioned by Smith, seconded by Anderson to approve a zoning text amendment to Section 1000.5.E pertaining to hot tub fence requirements with the conditions listed in the January 25, 2024, Planners Report. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.***

**B. Public hearing to consider a sign code text amendment allowing signs within City playfields within Central Park.**

Brixius presented the sign code text amendment in which the city would allow for the placement of advertising signs on the inside of the playfields in Central Park by the Albertville Sport Associations.

Commissioners has many questions, they are wondering the following:

- The time frame for these signs.
- What associations can sell the advertising spots.
- Who will enforce the signs, when they are not following the rules.
- Who issues the sign permits.
- Who regulates the price of these signs.
- Are Albertville Friendly City Days exempt from this, or do they need to follow this code as well.
- Should these signs all be uniform.
- Are there different tiers that you can pay for.

Brixius informed that he did not have all the answers to the Commissioners questions and recommended to table this public hearing until the next planning commission meeting and he will review these questions with staff.

***Motioned by Anderson, seconded by Smith to open the Public Hearing. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.***

***Motioned by Anderson, seconded by Pinski to table the sign code text amendment allowing signs within City playfields within Central Park listed in the January 25, 2024, Planners Report to the next Planning Commission Meeting. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.***

#### 4. OTHER BUSINESS

##### A. Land Use Discussion regarding Costco Site plan and future adjoining land uses in Albertville.

Brixius presented the Costco land use study and would like the Commissioners to start looking at the use of the lots around the proposed Costco location which will be located on the boarder of Otsego and Albertville. Brixius went through the proposed Costco site plan and layout and the surrounding lots within Albertville. Staff is concerned with traffic generation, traffic movements and site access. Planning Commission and City Council are requested to review the proposed land uses and zoning for the area and give direction to City Staff on land use goals for the area.

Commissioners discussed the MN Dot updates with CR 37 and I-94 interchange.

Commissioners discussed many different land use goals that they have in mind from parks and green space to business development which would bring money to the City.

#### 5. ADJOURNMENT

***Motioned by Smith, seconded by Pinski to adjourn the meeting at 8:18pm. Ayes: Buhrmann, Anderson, Huggins, Smith and Pinski. Nays: None. Absent: None. MOTION DECLARED CARRIED.***

Respectfully submitted,

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Maeghan M. Becker, Building Permit Technician

**PLANNING REPORT**

TO: Adam Nafstad  
FROM: Alan Brixius  
DATE: February 27, 2024  
RE: Medart Industrial  
FILE NO: 163.06 24.01  
  
PIDs: 101 156 001 010  
101 156 001 020

**BACKGROUND**

On August 15, 2022, the Albertville City Council approved the Albertville Self-Storage facility development applications including the AVA Second Addition plat, and the I-2/ PUD zoning and development plans. These development plans have not proceeded. Now Medart Inc. is pursuing the following development applications for the same properties previously considered by Albertville Self-Storage.

In proceeding with the Medart development, the Planning Commission and City Council will be required to repeal the previous Albertville Self-Storage PUD and approve the following Medart development applications.

1. Combining Lot 1 and 2 Block 1, AVA Second Addition into one lot and building site.
2. Vacation of select drainage and utility easements within Lots 1 and 2 Block 1, AVA Second Addition to create one lot and building site.
3. PUD Site and Building Plan Review. Review of the site and building plans required for the development of a two phased industrial warehouse/distribution facility. Phase one will be a 105,000 square foot office/warehouse. Phase two will be future 84,000 or 70,000 square foot warehouse expansion.

**EXHIBITS**

- Exhibit A: Existing Conditions
- Exhibit B: Site Plan
- Exhibit C: Grading Plan
- Exhibit D: Storm Sewer Plan
- Exhibit E: Utility Plan
- Exhibit F: Floor Plan
- Exhibit G: Building Elevation
- Exhibit H: Building Elevation Color
- Exhibit I: Landscape Plan
- Exhibit J: Photometrics Plan

**ISSUES AND ANALYSIS**

**Lot Combination**

The Albertville Subdivision Code allow for the combination of two existing platted lot through an administrative subdivision. Lots 1 and 2, Block 1 Second Addition conforming industrial platted lots as shown below. The combined lot area exceeds the I-2 requirements for lot area and lot width.

	Lot Area	Lot Width
Lot 1	9.05 acres	450 ft.
Lot 2	3.82 acres	114 ft.
Combined lot	12.88 acres	450 ft

**Easement Vacation.**

The approval of the previous, Albertville Self-Storage PUD and plat drainage and utility easements were created internal to the Lot 1, Block 1 AVA Second Addition and Along the share lot between Lots 1 and 2. These easements were established reflecting the Self-Storage site design. These easements are not needed and will interfere with the new Medart site plan. Vacation of these easements supported with the following findings and conditions.

Findings.

1. The proposed vacated easements do not contain existing utilities and serve no public purpose.
2. The vacation of the easement will create a buildable development site that will accommodate a new industry consistent with the Albertville Land Use Plan.
3. The proposed development will be compliant with the Albertville zoning code.

Conditions.

1. The applicant shall provide a legal description of the easements to be vacated.

2. Drainage and utility easements shall be provided along the lot lines of the new combined lot and over the stormwater ponds.
3. Site grading extends beyond the site into the Outlot A Second Addition. A drainage and utility easement that encompasses this area must be provided.
4. All easement locations, sizes and configurations shall be subject to the review and approval of the City Engineer.

**Site and Building Plan Review**

Setbacks. The table below, the building setback proposed on Lot 1 in comparison with the applicable I-2 District Setback requirements.

	Required	Phase 1	Phase 2
Front (west)	30 feet	212 feet	212 feet
Side interior (north)	10 feet	61 feet	82 feet
Side corner (south)	20 feet	220 feet	170 feet
Rear yard (east)	20 feet	368 feet	109 feet

Lot Coverage. Within the I-2 zoning district lot hard coverage is limited to 85% of the total lot area. The site plan indicates that the proposed phase building and parking will cover 57.9 % of the total lot area.

Site Access and Circulation. The site subject is proposed to be accessed from 67<sup>th</sup> Street and Karen Avenue. In review of the access and circulation patterns within the site, we offer the following comments.

1. The proposed site plan shows three curb cuts serving the site. The site size and street frontage allow this number of curb cuts.
2. The proposed southern curb cuts at south and west property lines measure 62 and 65 feet in width. By City Code, the maximum curb cut width is 24 feet unless otherwise approved by the City Engineer. The City Engineer will review the proposed curb cuts and provide a recommendation for an acceptable curb cut width as a PUD flexibility.
3. The site plan design segregates the automobile parking from the loading area.
4. By code all drive aisles are required to be paved with bitumen or concrete. The applicant is proposing a 24 foot drive aisle around the building with a gravel surface. This drive aisle will serve as a fire lane around the building and will be improved with the future building addition or if additional parking is required. The City may allow a temporary exemption for paving this drive aisle through PUD flexibility provided the gravel drive aisle is designed to meet the 2020 Minnesota State Fire Code, Fire Apparatus Access Road for all-weather access. Staff also recommends that this drive aisle be improved to a paved surface by October 2030 or with the future building addition whichever is sooner.

Off-Street Parking. Based on the City Zoning code, the following on-site parking is required

Phased 1

Office: 7,343 sq. ft. x .9 = 6,609 / 200 = 33 parking spaces.

Warehousing: 97,814 sq. ft. x .9 = 88,032 / 1000 = 88 parking spaces  
121 parking spaces

Phase 2.

Warehousing: 84,000 sq. ft. x .9 = 75,600 / 1000 = 76 parking spaces

Total phase 1 and 2. 197 Parking spaces.

The site plan illustrates 73 improved parking stalls and 141 proof of parking stalls, 214 total stalls. The phase 1 development parking count is below the required parking count of 121. The improved parking count is reflective of the company anticipate employee count. Proof of parking demonstrates that the site can provide adequate parking. The proof of parking is recommended to be approved as part of the PUD with the following conditions.

1. On-site parking shall be limited to approved parking stalls. Parking shall be prohibited on-street, within the drive lanes, loading areas, or unpaved surfaces.
2. The applicant shall construct additional parking meeting the City zoning standards upon notification from the City. Additional parking will be required if the on-site parking is insufficient to meet the parking demand.

All improved driveways and parking lots shall have perimeter concrete curbing, paved surfacing. The parking stalls and drive aisle are properly dimensioned. The improved parking stalls shall be striped.

Disability parking stalls. The site plan shows 4 disability parking stalls within the west parking lot. These disability parking stalls are adequate for the 73 stalls. As additional stalls are built the number of disability stalls must be increased. The site plan shows a total of 214 parking stalls this will require 6 disability stalls. The site plan must show the location and design of the 6 disability stalls.

Loading: The site plan illustrates 16 loading berths on the initial phase one building and 15 loading berths on the future building addition. In review of the site plan, we offer the following comments.

1. Loading berths located in the front yard or the side yard abutting a street may be allowed by conditional use permit. Rather than require a conditional use permit, this design feature will be addressed as part of the PUD zoning meeting the CUP standards for approval.
2. The location of the loading berth on the south side of the building is intended to take advantage of solar access for snow melt.



3. The site design segregates on-site loading from the on-site parking to reduce traffic conflicts.
4. The loading berths and related drive aisle are dimensioned to meet code and will accommodate the turning movements for semi-trucks and trailers.
5. The loading areas facing public streets are required to be screened from public streets and residential uses. The landscape plan is intended to provide screening of the loading areas. The screening will be evaluated in greater detail later in this report.

Trash Handling. The site plan shows the location of an outdoor trash enclosure on the south side of the building. Exterior trash enclosures are to be designed to match the building. Applicant shall provide a detail of the side walls and gates showing materials and design.

Building Materials. The Building Elevations show the exterior building treatments for each of the buildings. The building will be constructed of precast concrete panels painted with three colors. The building materials meet the I-2 district standards.

Building Layout. The building has man door exiting on all sides of the building. Doors on the west and south sides of the building exit onto a sidewalk or into the paved loading area. Doors on the north and east side of the building must provide landing and sidewalks to exit and move away from the building. These landings and sidewalks must be kept clear of obstructions and snow. The site plan must show how exiting, and sidewalks will be established for the doors on the north and east sides of the building.

Mechanical Equipment. The Applicant shall provide revised site and building plans illustrating the location, size and screening of any ground mounted or rooftop mechanical equipment.

Building Height. The proposed building will be 39 feet in height at the highest parapet. The building is well within the maximum 45-foot requirement imposed in I-2 zoning districts.

Landscaping. Section 1000. 7 outlines the landscaping and screening required for commercial and industrial lots. The landscaping plan that has been submitted. In review of the landscape plan, we offer comments.

1. The site plan does a good job reestablishing ground cover over the areas disturbed by grading with sod and seed mixes that are appropriate for their areas of use.
2. The southern loading area is required to be screened from 67<sup>th</sup> Street. The landscape plan proposes single row plantings along the south curb line of the loading area. The trees consist of 8 foot tall coniferous trees. The base of the loading berths at the building is at a 961.5 elevation. The proposed trees are being planted at a 959 elevation. In this arrangement, the trees will not provide

effective screening at time of installation. Staff recommends that the plan be revised to include the following.

- a. The landscape screening shall consist of a double stagger row of coniferous trees. Trees shall be a minimum of 8 feet in height. The spacing of trees in the same row shall be no greater than ten feet.
  - b. The landscape screen shall be extended for the full length of the initial construction and the proposed future addition, to allow the plantings to grow and mature together, becoming a more effective screen over time.
  - c. A landscape screen or screen wall shall be provided within the green space along the west end of the loading berths.
3. The zoning code requires screening at that periphery of the parking lot from the public street. The landscape plan must provide screening either landscaping or fence along the western edge of the west parking lot. Said screen shall be of a height to screen headlights directed toward the public street.
  4. The plantings along the west side of the building meet the City requirements of the zoning code.
  5. The site and landscape plan must illustrate landings and clear paths from the doors on the north and east sides of the building to a drive aisle. These landings and clear paths shall be kept clear of obstructions and snow year-round.

Lighting. The lighting plan shows a total of 21 total exterior light fixtures on site. The plan includes 13 wall mounted light fixtures and 8 freestanding light poles. In review of the lighting plan, we offer the following comments.

1. All light fixtures are 90-degree cutoff fixtures with shielded light sources meeting the City exterior light standards.
2. The proposed freestanding light will be mounted on 36-inch concrete bases and will have a total height of 25 feet, meeting City standards.
3. The photometric plan shows light levels that meet code.
4. One additional wall mounted light is required over the man door at the northwest corner of the building.

Signage. The building elevations show wall signs on the south side of the building. A separate sign permit shall be required with the submission of the building permit. The sign permit shall address the following details.

1. The wall sign details showing the sign size and location. Within the I-2 district wall may be permitted on walls facing a public street. The wall signs size may be 10% of the wall area or 200 feet whichever is less.

2. If a freestanding sign is proposed the plan must identify the sign's location and design. Within the I-2 district ground signs shall not exceed 200 sq. ft. in area or 30 feet in height.
3. If directional signs are proposed to direct traffic or on-site operations, a comprehensive sign plan can be approved for the site. The comprehensive sign plan must identify the number, size, and locations of proposed directional signs. Traffic control or directional sign shall not exceed 4 sq. ft. in area.

Grading, Drainage, and Utilities. Grading, drainage, and utilities plans shall be subject to final review and approval by the City Engineer.

## **CONCLUSION**

Based on our review of the application and the submitted plan sets offer the following recommendations.

### **Lot Combination / Easement Vacation**

Staff recommends approval lot combination and easement vacation subject to the following finding and conditions.

Findings.

1. The proposed lot combination results in a single lot that meets the lot area and width requirements of the I-2 zoning district.
2. The proposed easements to be vacated do not contain existing utilities or serve a public purpose.
3. The vacation of the easements and lot combination will create a buildable development site that will accommodate a new industry consistent with the Albertville Land Use Plan.
4. The proposed industrial development will be compliant with the Albertville zoning code.

Conditions.

1. The applicant shall provide a legal description of the easements to be vacated.
2. Drainage and utility easements shall be provided along the lot lines of the new combined lot and over the stormwater ponds.
3. Site grading extends beyond the site into the Outlot A Second Addition. A drainage and utility easement that encompasses this area must be provided.
4. All easement locations, sizes and configurations shall be subject to the review and approval of the City Engineer.

5. The applicant enters into a PUD /development agreement with the City.

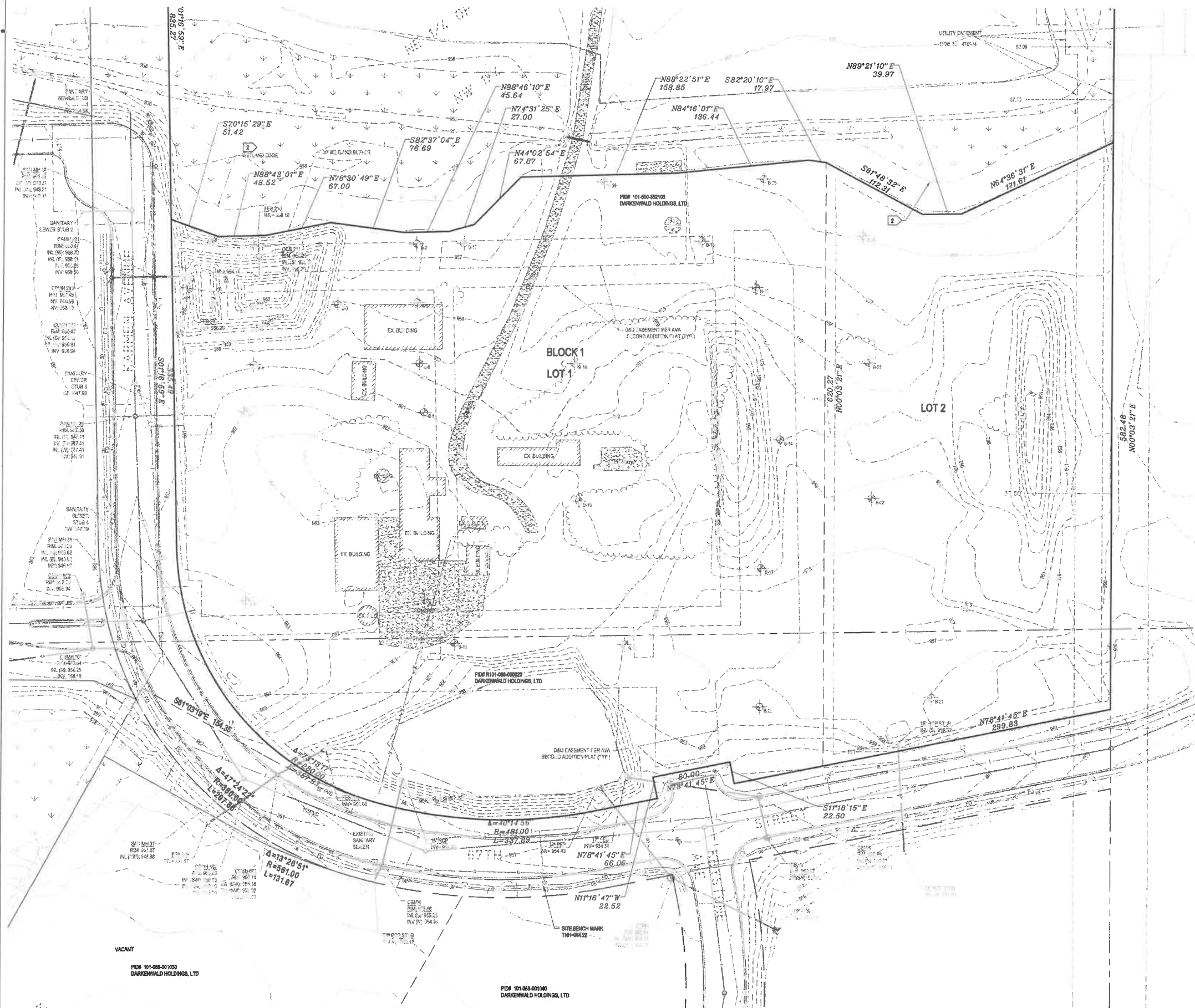
### **PUD Site and Building Plan**

Based on our review of the submitted architectural drawings dated 01/16/2024 and the Civil Plans dated 02/13/2024, Staff recommends approval of the Medart Industrial Warehouse Facility site and building plans with the following conditions.

1. The City Council repeals the 2022, PUD approval for Albertville Self-Storage for the same lot.
2. The site plan be revised to implement the City Engineer's recommendation for curb cut widths for the site.
3. The City approves PUD flexibility for a gravel fire lane around the north and east side of the building per the approved site plan. The gravel drive aisle shall be designed to meet the 2020 Minnesota State Fire Code, Fire Apparatus Access Road for all-weather access. The gravel fire land shall be improved to a paved surface by October of 2030 or with the future building addition whichever is sooner.
4. The City approves PUD flexibility to allow the initial construction of 73 parking stalls west of the building with the 141 proof of parking stalls provided the following conditions.
  - On-site parking shall be limited to approved parking stalls. Parking shall be prohibited on-street, within the drive lanes, loading areas, or unpaved surfaces.
  - The applicant shall construct additional parking meeting the City zoning standards upon notification from the City. Additional parking will be required if the on-site parking is insufficient to meet the parking demand.
  - All parking shall be designed and constructed to meet City parking standards.
  - The site plan shows a total of 214 parking stalls this requires 6 disability stalls. The site plan must be revised to show the location and design of the 6 disability stalls.
5. The Applicant shall provide a design detail of the proposed trash enclosure showing the exterior materials of the enclosure and gate.
6. The site and landscape plan must be revised to show landings and sidewalks for the doors on the north and east sides of the building. These landings and clear paths shall be kept clear of obstructions and snow from the doors to a drive aisle.

7. The Applicant shall provide revised site and building plans illustrating the location, size and screening of any ground mounted or rooftop mechanical equipment.
8. The landscape plan shall be revised to include the following.
  - The landscape screening shall consist of a double stagger row of coniferous trees. Trees shall be a minimum of 8 feet in height. The spacing of trees in the same row shall be no greater than ten feet on center.
  - The landscape screen shall be extended for the full length of the initial construction and the proposed future addition, to allow the plantings to grow and mature together, becoming a more effective screen over time.
  - A landscape screen or screen wall shall be provided within the green space along the west end of the loading berths.
  - The landscape plan must provide screening either landscaping or fence along the western edge of the west parking lot. Said screen shall be of a height to screen headlights directed toward the public street.
9. The lighting plan be revised to include one additional wall mounted light over the man door at the northwest corner of the building.
10. A separate sign permit shall be required with the submission of the building permit showing wall signs, freestanding signs and any on-site directional or traffic control signs.
11. Grading, drainage, and utilities plans shall be subject to final review and approval by the City Engineer.
12. The Applicant shall enter into a PUD/Development agreement outlining the terms of site development and conditions of PUD approval.

Cc. Maeghan Becker  
Kris Luedke  
Casey Darkenwald  
Tom Mayer, Landform



**EXISTING CONDITIONS**

1. Background information shown is from a combination of a survey by Landform, Minneapolis, MN, on December 7, 2018, expressly for this project, City of Albertville, MN record drawings, construction document drawings for the Advanced Volumetric Alliance s/c, and utility service providers. Landform offers no warranty, expressed or written, for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, omissions, or omissions discovered shall be reported to the Engineer IMMEDIATELY.

2. Wetland delineation prepared by Kjaiburg, dated 10/04/16, 12/04/18 & 03/02/21.

**DEVELOPER**

**MEDART INC.**

**MUNICIPALITY**

**ALBERTVILLE**  
Small Town Living. Big City Life.

**PROJECT**

**MEDART INC.**

**ALBERTVILLE, MN**

**ISSUE / REVISION HISTORY**

DATE	SCALE / REVISION	REVIEW
28 JAN 2024	PROJNO 0001	CAC
18 FEB 2024	CITY SUBMITTAL	KEB

**RECEIVED**

**FEB 14 2024**

By: .....

**CERTIFICATION**

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

**CITY SUBMITTAL**  
02.13.24

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Suite 613  
Minneapolis, MN 55401

Tel: 612-252-0070  
Fax: 612-252-0077  
Web: landform.net

FILE NAME: C101ME001.DWG  
PROJECT NO.: ME24001

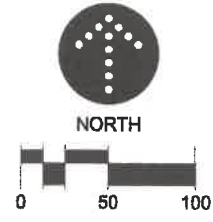
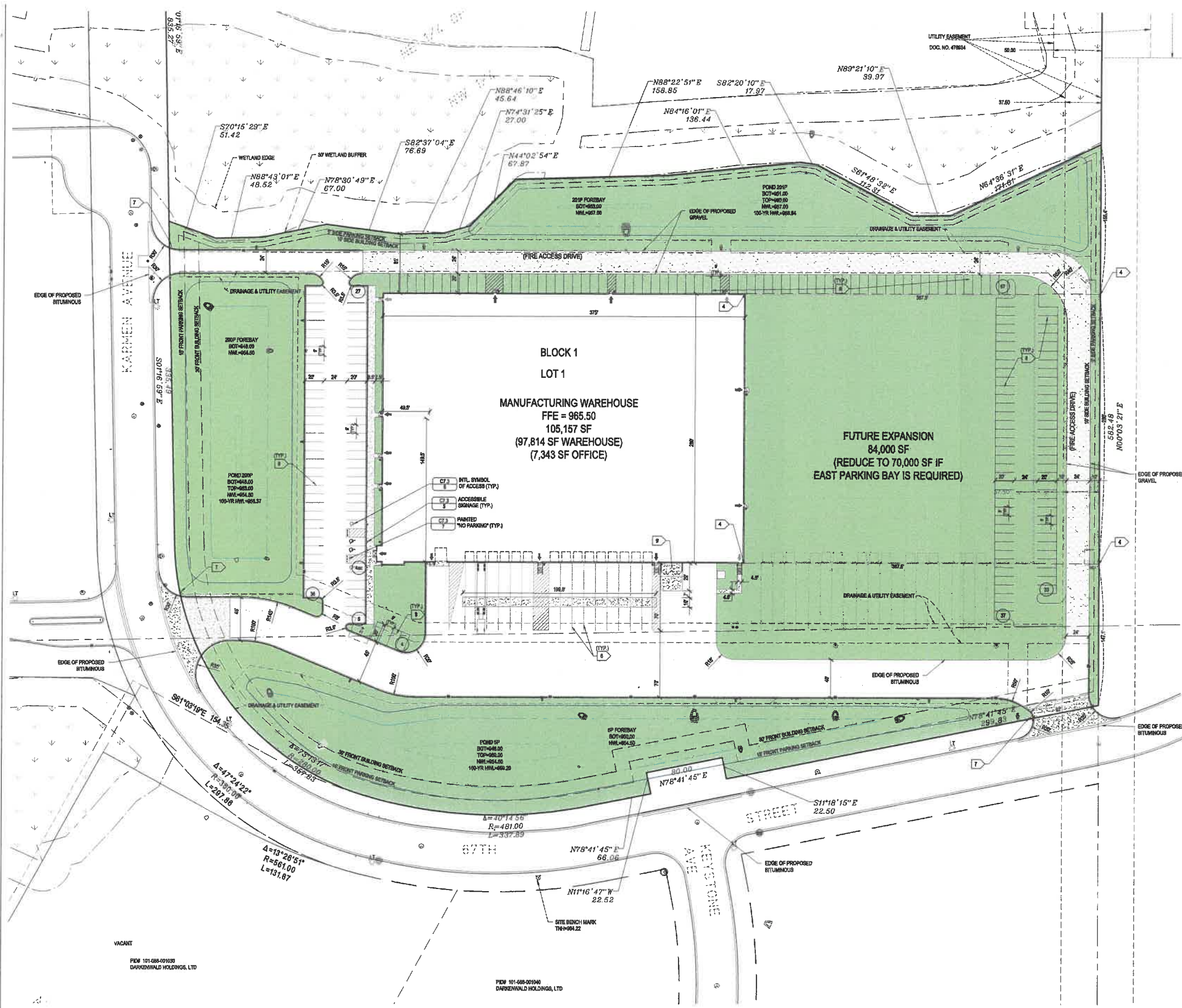


Exhibit A



**GENERAL NOTES**

- For construction staking and surveying services contact Landform at 612.252.0070.
- Obtain all necessary permits for construction within, or use of, public right-of-way.
- The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structure drawings prior to staking.
- Building layout angles are parallel with or perpendicular to the property line at the location indicated.
- Dimensions shown are to face of curb and exterior face of building unless noted otherwise.
- Delimited parking stalls with 4-inch wide white painted edges. Delimited access aisles with 4-inch wide white painted edges 18 inches on center and at 45 degree angle to direction of travel.
- Install new stop sign and post. Sign shall conform to the latest edition of the MUTCD.
- Proof of parking.
- Trash container. Refer to Architectural plans.

**ZONING AND SETBACK SUMMARY**

The Property is Zoned PUD (Planned Unit Development)  
 Underlying PUD Zoning P-2 (General Industrial)

Building Setback Information is as follows:  
 Front Yard = 30 ft.  
 Rear = 20 ft.  
 Side (Interior) = 10 ft.  
 Side (Corner) = 20 ft.

Parking Setback Information is as follows:  
 Front Yard = 5 ft.  
 Rear = 5 ft.  
 Side (Interior) = 5 ft.  
 Side (Corner) = 5 ft.  
 Side (Street) = 15 ft.

Lot Coverage Information is as follows:  
 Lot Width Minimum = 100 ft.  
 Total Site Area = 500,000 s.f. = 12.80 ac.  
 Maximum 85% Impervious Coverage

**AREA SUMMARY**

	sq. ft.	ac.	%
Total Existing:			
Pavement	520,983	12.18	94.5%
Impervious	21,086	0.72	5.9%
<b>Total</b>	<b>542,069</b>	<b>12.88</b>	<b>100.0%</b>
Total Proposed:			
Pavement	324,829	7.45	67.8%
Impervious	228,440	5.43	42.1%
<b>Total</b>	<b>553,269</b>	<b>12.88</b>	<b>100.0%</b>

**PARKING SUMMARY**

Required Parking:  
 3 Stalls Plus 1 Stall per 200 s.f. of Office Floor Area, Plus 1 Stall per 1,000 s.f. of Warehouse Floor Area,  
 Plus 1 Stall per Employee on Maximum Shift, Plus 1 Stall per Company Owned Truck,  
 7,343 s.f. Office, 97,814 s.f. Warehouse Floor Area

Office Floor Area Parking Stalls Required	40
Warehouse Floor Area Parking Stalls Required	88
<b>Total Parking Stalls Required</b>	<b>128</b>

Provided Parking:

Standard Stalls (8x20)	88
Accessible Stalls (8x20)	4
<b>Total Parking Stalls Provided</b>	<b>92</b>

Proof of Parking:

Standard Stalls (8x20)	141
<b>Total Parking Stalls Provided</b>	<b>141</b>

Total (Provided & Proof of Parking):

Standard Stalls (8x20)	209
Accessible Stalls (8x20)	4
<b>Total Parking Stalls</b>	<b>213</b>

**LEGEND**

Green Open (Landscape Area)

**DEVELOPER**



**MUNICIPALITY**



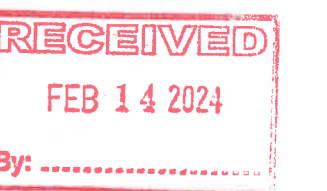
**PROJECT**

**MEDART INC.**

**ALBERTVILLE, MN**

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
26 JULY 2024	PRELIMINARY	DMC
07 FEB 2024	CITY SUBMITTAL	MEJ



**CERTIFICATION**

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

IF THE SIGNATURE, SEAL OR POWERS OF ATTORNEY ARE NOT VALID, THIS PROJECT HAS BEEN STOPPED AND THE ENGINEER'S RESPONSIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**CITY SUBMITTAL**  
 02.13.24



105 South Fifth Avenue  
 Suite 513  
 Minneapolis, MN 55401

Tel: 612-252-0070  
 Fax: 612-252-0077  
 Web: landform.net

FILE NAME: C2D1ME001.DWG  
 PROJECT NO.: ME24001

**SITE PLAN**

**C2.1**

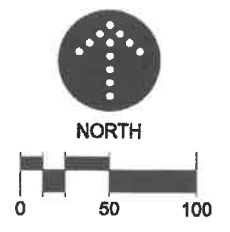
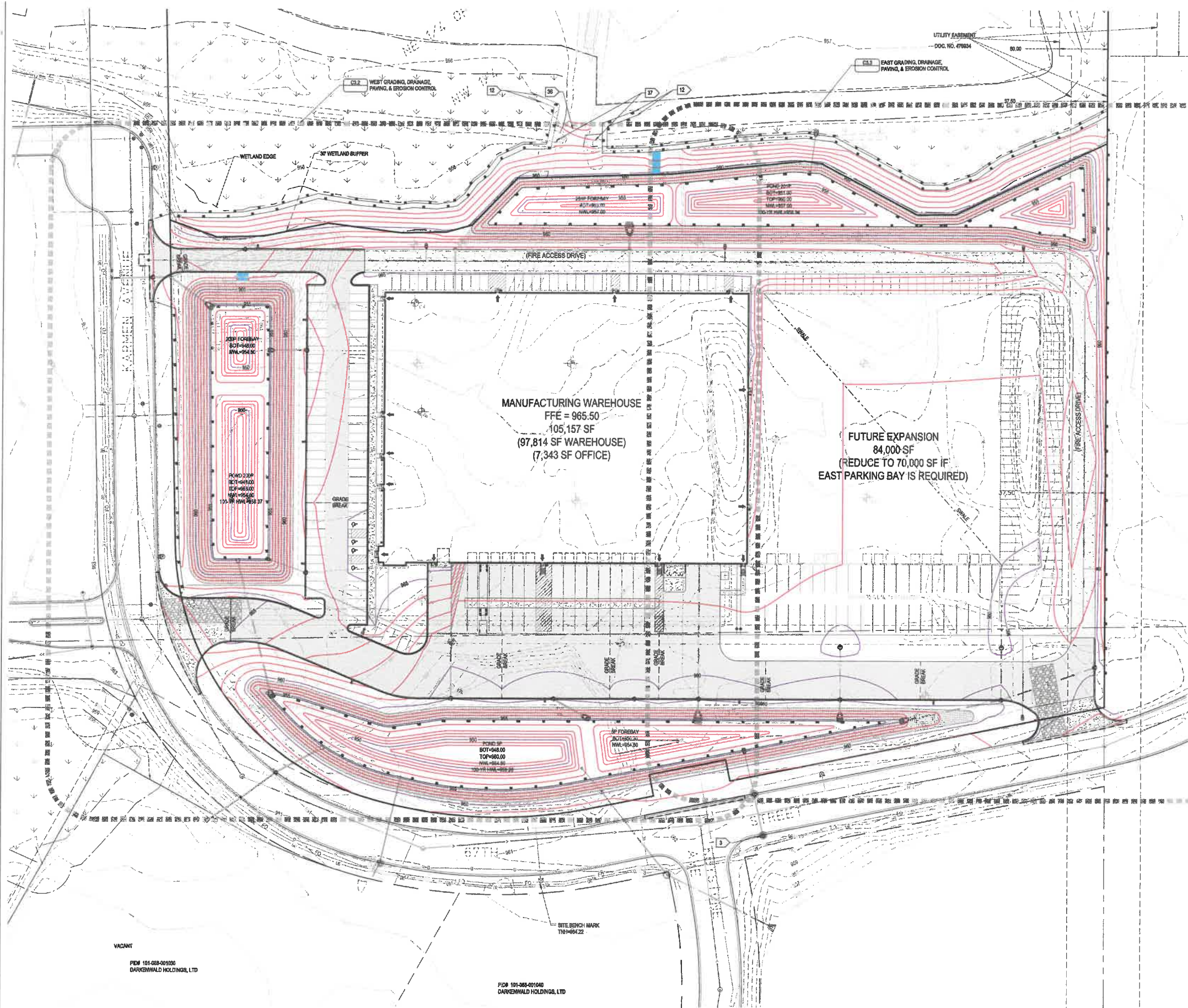


Exhibit B



- GENERAL NOTES**
- For construction staking and surveying services contact Landform at 612.252.0070.
  - EROSION PREVENTION AND SEDIMENT CONTROL NOTES**
  - Install perimeter sediment control prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.
  - Install inlet protection: Whimsi RD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.
  - Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
  - Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment control by wind or water.
  - Refer to SWPPP Notes on Sheet C3.4 for additional requirements.
  - Excavate ponds ready in the construction sequence. Remove sediment from ponds periodically and after areas contributing runoff are permanently stabilized.
  - Contractor shall prevent sediment laden water from entering the ponds until the site is completely stabilized.
    - Contractor shall furnish and install floating head siltstrainers at each pond outlet until the site is stabilized.
  - Siltstrainers must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.
- Seed, Soil, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified.
- | Item                    | Specification Number |
|-------------------------|----------------------|
| Seed                    | MNDOT 3876           |
| Mulch                   | MNDOT 3892           |
| Erosion Control Blanket | MNDOT 3895           |
| Fertilizer              | MNDOT 3891           |
| General Placement       | MNDOT 2676           |
- See Landscape Sheets for permanent turf and landscape establishment.
  - Scrape adjacent streets clean daily and sweep clean weekly.
  - Install a double row of 4' tall fences spaced 5' apart adjacent to wetlands.
  - Reserved.

- GRADING NOTES**
- Contact utility service providers for field location of services 72 hours prior to beginning grading.
  - Refer to the Geotechnical Report for additional information on bedrock material and groundwater conditions.
  - Remove topsoil from grading areas and stockpile sufficient quantity for reuse.
  - Remove surface and ground water from excavations. Provide inlet filter of stable foundation material if exposed soils are wet and unstable.
  - Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).
  - Refer to Structural Specifications for earthwork requirements for building pads.
  - An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
  - Place and compact fill using 88 (three-pass) method to soil type and compaction equipment to obtain specified compaction throughout the fill.
  - Compact subgrade soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 95% density where fill depth exceeds 10 feet. The soil shall be within 2% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 85% of Modified Proctor Density (ASTM D1557).
  - Coordinate with Architectural for building slope locations. Slopes shown on adjacent walls and pavements should continue over slopes.
  - Reserved.

- PAVING NOTES**
- Spot Elevations at curbs indicate finished unless noted otherwise. See sheet C4.1 for rim elevations of catch basins.
  - Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.
  - Meet and Match existing curb. Transitions as needed.
  - Paving Sections (Refer to Geotechnical Report)
    - Bituminous Paving (Light Duty)
    - Bituminous Paving (Heavy Duty)
    - Concrete Walkways  
4-inch Concrete Walk, 4000 PSI, 5% Air Entrainment, Max. 4" Slump (MNDOT 2201)  
4-inch Aggregate Base (MNDOT)  
Compacted Subsoil
    - Concrete Drives, Aprons, and Exterior Slabs
    - Gravel Access Drive
  - Concrete Joints  
Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints. Joint spacing shall be as follows:
    - Tied Joints: Divide panels into nominally equal areas unless otherwise noted.
    - Expansion Joints: Sidewalks - 40 feet max.; Curb - 60 feet max.; Pavement: 90 feet max.; Adjacent to building foundations and slopes.
    - Construction Joints: Sidewalk - 8 to 10 feet; Curb and Apron - 12 to 15 feet.
  - Accessible Parking: Slabs and adjacent access aisles shall not exceed a 2.00% slope in any direction.
  - Accessible Routes shall have a maximum cross slope of 2.00% and a maximum running slope of 5.00%.
  - Adjust all structure items to match permanent elevations.
  - Transition from 8812 Curb & Gutter to Ribbon Curb per Detail C7.44 Type A. Refer to plan for length of transition.
  - Replace curb and gutter exterior pavement in kind. Match existing elevations.
  - Contractor shall strip topsoil, spread remaining stockpile, and reseed excess topsoil placed on north parcel.
  - Remove culvert and restore ditch after earthwork operations are complete.
  - Restore wetland to existing conditions where disturbed.

**LEGEND**

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Silt Protection	16 ea.
	Silt Fence	6,000 ft.
	Compost or Bio Log	0 ft.
	Vehicle Tracking Pad	2 ea.
	Erosion Control Blanket	7,200 sq.
	Tip Out Curb	
	Pavement Sawcut	
	Eriact	

**TEMPORARY SEDIMENTATION BASIN CALCULATIONS**

TEMPORARY SEDIMENTATION BASIN STORAGE (REQUIRED IF DRAINAGE AREA IS GREATER THAN 5 ACRES)

BASIN	TRIBUTARY AREA (AC)	REQUIRED LIVE STORAGE VOLUME (8500 CF/AC)	PROVIDED LIVE STORAGE VOLUME (CF)
B3	33	118,500	167,209
200P	4	N/A	N/A
221P	4	N/A	N/A

DEVELOPER

**MEDART INC.**

MUNICIPALITY

ALBERTVILLE, MN

PROJECT

**MEDART INC.**

ALBERTVILLE, MN

ISSUE / REVISION HISTORY

DATE	BY / REVISION	REVIEW
28 JAN 2024	PROJECT NAME: CITY SUBMITTAL	CHK: JES
12 FEB 2024		

**RECEIVED**

FEB 14 2024

By: .....

CERTIFICATION

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CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT FROM A PROFESSIONAL ENGINEER REGISTERED WITH THE STATE OF MINNESOTA, THIS DOCUMENT IS VOID. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**CITY SUBMITTAL**

02.13.24

LANDFORM

From Site to Finish

105 South Fifth Avenue Suite 513 Minneapolis, MN 55401  
Tel: 612-252-0070 Fax: 612-252-0077 Web: landform.net

FILE NAME: C301ME001.DWG

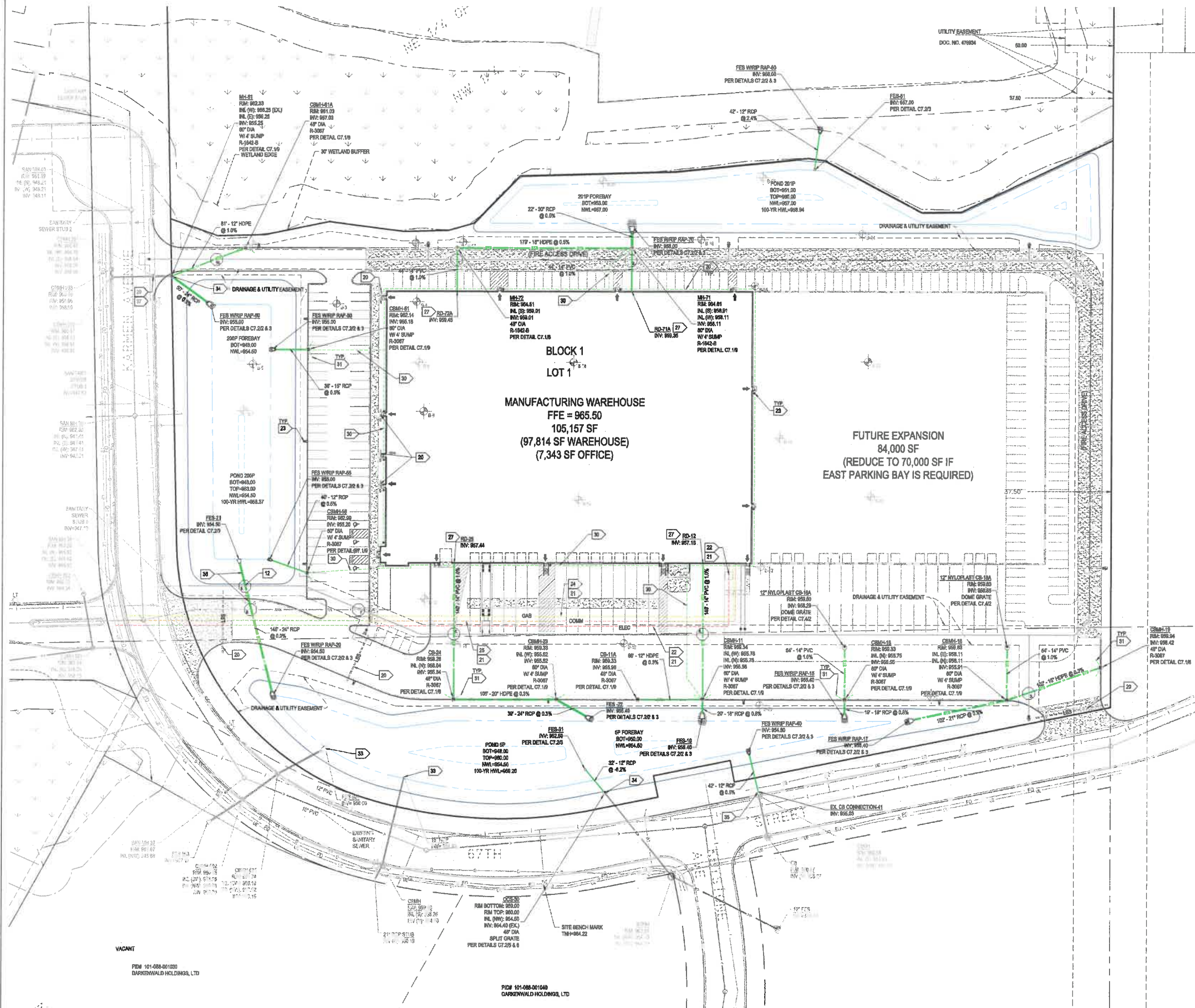
PROJECT NO.: ME124001

OVERALL GRADING, DRAINAGE, PAVING, & EROSION CONTROL

**C3.1**

Exhibit C





**GENERAL NOTES**

- For construction staking and surveying services contact Landform at 612.252.0071.
- UTILITY NOTES**

  - Watermain: C900 PVC
  - Private Sanitary Sewer: PVC Schedule 40 (ASTM D1785, D2065, F754, F1198)
  - Storm Sewer: PVC Schedule 40 (ASTM D1785, D2065, F81, F148 & F1780)
  - RCP: 12" Class 5 (ASTM C78)
  - RCP: 24" Class 5 (ASTM C78)
  - RCP: 36" Class 5 (ASTM C78)
  - HDPE: Corrugated, Smooth Interior, Water Tight (ASTM D3505, ASTM D4876, ASTM F2368, ABR1011 M302)
  - HDPE: Compacted & Perforated (ASTM F887)
- Drain Ties
- Contact utility service providers for field location of services 72 hours prior to beginning.
- Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to provide all utility coverage prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure or end of end section.
- Install tracer wire with all non-conductive utilities in accordance with City of Albertville Standards.
- Connect to City utilities in accordance with City of Albertville Standards.
- All exterior manholes shall be epoxy coated and all fittings and valves shall be secured utilizing stainless steel bolts, or approved equal, with the use of non-slip zinc anode caps.
- Maintain 7.5 feet of cover on water.
- Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
- Contact John Mollerstrom, City of Albertville Public Works Department, at 703.497.3304 for flushing and pressure test inspections.
- The water distribution system shall be distributed per Minnesota Rules, Part 4714.
- Provide 4-inch rigid foam (ASTM D1821) insulation on sanitary sewer lines less than 7 feet deep.
- Reserved.
- All portions of the storm sewer system, located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules, Part 4714.
- All joints and connections in the storm sewer system shall be gasketed or water tight. Approved manifold rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.
- Catch basins in curb and gutter are warped 2 inches below the gutter grade. Refer to Detail 10 on Sheet C7.2.
- Irrigation risers to be 4 inch Schedule 80 PVC buried 24" below grade. Extend risers 3-inch beyond the edge of pavement. Mark each end of riser with 3/4-inch rebar 12 inches below finish grade. (Coordinate with Irrigation contractor.)
- Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
- The primary electric feed, transformer, and meter are provided and installed by Wright-Henwood Electric Co-op. The transformer pad design is provided by the Utility and construction is by the Contractor. Contact Utility for pad detail. The secondary electric and controls shall be installed by the Electrical Contractor.
- See site lighting plan for additional information.
- CenterPoint Energy will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
- Provide one 4-inch PVC conduit with pull-string from existing telephone service to building.
- Provide conduit for cable television and other electronic communication.
- Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and construction of service within building.
- Compact cohesive soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. compact to 95% density where fill depth exceeds 10 feet. The soils shall be within 5% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.
- 4" HDPE foundation drain the system, refer to architectural and structural plans. Connect foundation drain ties to storm structures with soil seal HDPE. Coordinate with plumbing and structural plans.
- All storm sewer catch basins shall include 19 LF of drain tie in all directions under the pavement. Refer to plan for layout. Refer to Detail 1 on Sheet C7.2 for additional information. The tie-in to the catch basins shall be installed above the top of the highest sewer pipe in the structure.
- All utility improvements shall be constructed in accordance with the latest edition of CEMAS Standard Utility Specifications and Albertville City Standards.
- Install new rip rap at existing pond areas as necessary from the outlet to the normal water level. Refer to Detail C7.25.
- Construct utility structure over existing utility pipe, connection shall be water tight. Contractor shall field verify existing location prior to construction.
- Core drill existing structure for proposed pipe connection. Connection shall be water tight.
- Install a 20 LF single piece of HDPE storm sewer centered on the water crossing. Transition from HDPE to RCP per Detail 3 on Sheet C7.4.
- Furnish and install new R-306-A casing or approved equal on existing catch basin.

**UTILITY CROSSINGS**

1. Crossing 1 Watermain Top=957.24 Storm Sewer Bottom=959.09 Clearance = 1.85	6. Crossing 6 RESERVED
2. Crossing 2 Watermain Top=957.29 Storm Sewer Bottom=959.09 Clearance = 1.77	7. Crossing 7 Watermain Bottom=958.21 Sanitary Sewer Top=951.44 Clearance = 4.77
3. Crossing 3 Watermain Top=952.69 Storm Sewer Bottom=958.06 Clearance = 3.37	8. Crossing 8 Sanitary Sewer Top=949.66 Storm Sewer Bottom=954.25 Clearance = 5.17
4. Crossing 4 Watermain Top=953.07 Storm Sewer Bottom=959.30 Clearance = 3.22	9. Crossing 9 Watermain Top=956.82 Storm Sewer Bottom=954.25 CONFLICT - REFER TO NOTE 12 ADJUST TOP OF WATERMAIN TO 952.33, CLEARANCE = 2.07
5. Crossing 5 Watermain Top=953.05 Storm Sewer Bottom=955.87 Clearance = 3.82	10. Crossing 10 Watermain Top=954.22 Storm Sewer Bottom=956.81 Clearance = 2.59

**DEVELOPER**



**MUNICIPALITY**



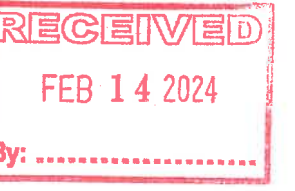
**PROJECT**

**MEDART INC.**

**ALBERTVILLE, MN**

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVISION
02 JUN 2024	PROJECT ISSUE	001
02 FEB 2024	CITY SUBMITTAL	002



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CONSTRUCTION

**CITY SUBMITTAL**  
02.13.24



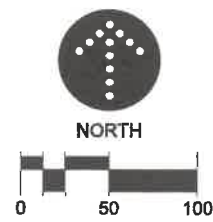
105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

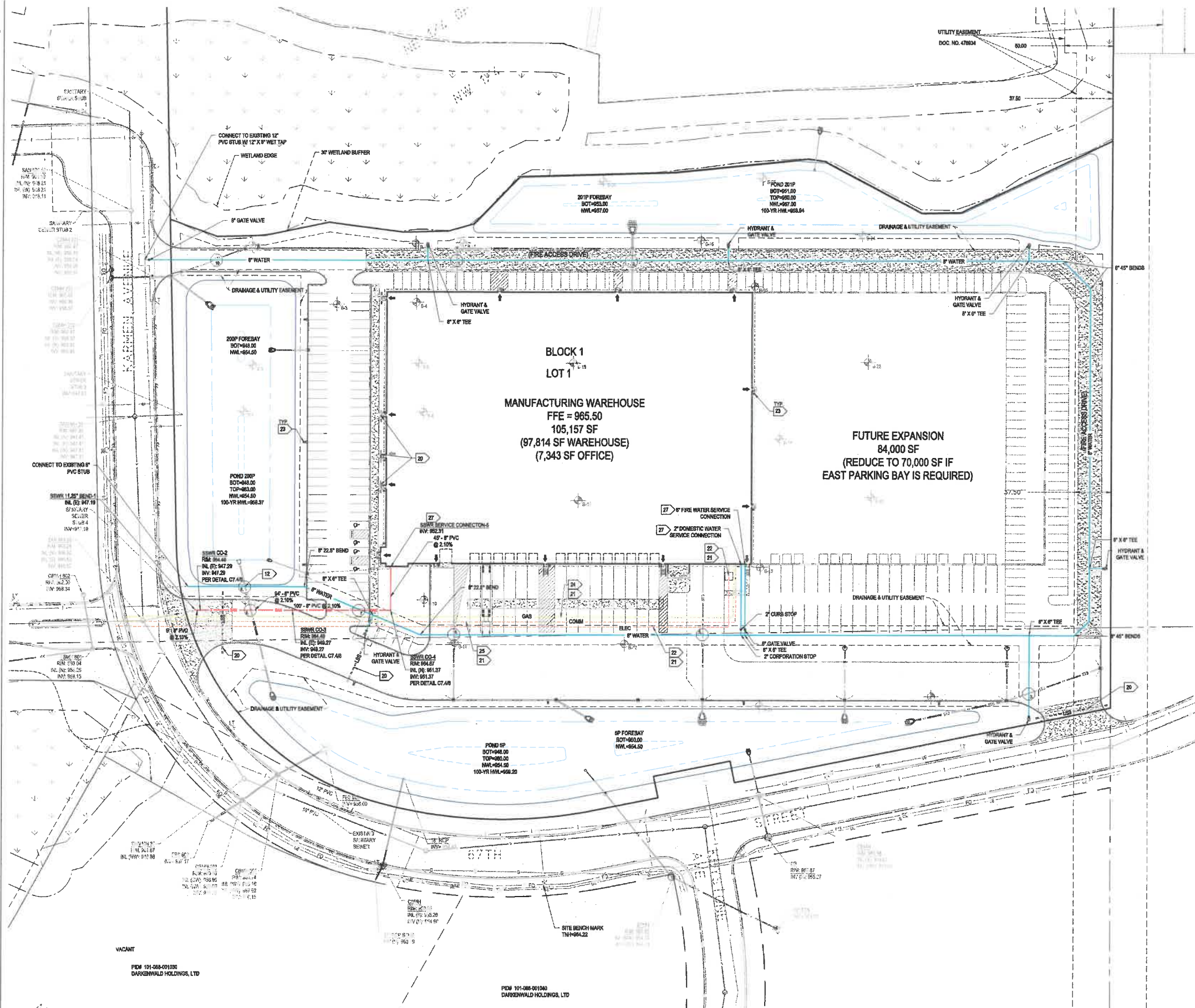
Tel: 612-252-8070  
Fax: 612-252-8077  
Web: landform.net

FILE NAME: C401ME001.DWG  
PROJECT NO.: ME124001

**STORM SEWER**  
**C4.1**

Exhibit D





**GENERAL NOTES**

- For construction staking and surveying services contact Landform at 612.252.0070.
- UTILITY NOTES**

  - Watermain: C200 PVC
  - Private Sanitary Sewer: PVC Schedule 40 (ASTM: D1785, D2085, F794, & F1965)
  - Storm Sewer: PVC Schedule 40 (ASTM: D1785, D2085, F794, & F1965)
  - RCP: 12" - 18" Class 6 (ASTM C78)
  - RCP: 24" - 36" Class 4 (ASTM C78)
  - RCP: 24" - 48" Class 3 (ASTM C78)
  - HDPE - Corrugated, Smooth Interior, Water Tight (ASTM D3350, ASTM D4979, ASTM D3340, AASHTO M252)
  - HDPE - Corrugated & Perforated (ASTM F867)
- Contact utility service providers for field location of services 72 hours prior to beginning.
- Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to provide all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure or end of end section.
- Install tracer wire with all non-conductive utilities in accordance with City of Albertville Standards.
- Connect to City utilities in accordance with City of Albertville Standards.
- All watermain fittings shall be epoxy coated and all fittings and valves shall be secured utilizing stainless steel bolts, or approved equal, with the use of sealant also on both ends.
- Maintain 7.5 feet of cover on water.
- Deflect water to maintain 18-inch minimum vertical separation of sewer crossings. Center pipe lengths to provide graded separation between joints.
- Contact John Mollerstrom, City of Albertville Public Works Department, at 763.467.3384 for flushing and pressure test inspections.
- The water distribution system shall be constructed per Minnesota Rules, Part 4714.
- Provide 4-inch rigid foam (ASTM D1821) insulation on sanitary sewer less than 7 feet deep.
- Reserved.
- All portions of the storm sewer system, located within 10 feet of the building or exterior service line must be tested in accordance with Minnesota Rules, Part 4714.
- All joints and connections in the storm sewer system shall be gasketed or water tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.
- Catch basins in curbs and gutters are required 2 inches below the gutter grade. Refer to Detail 10 on Sheet C7.2.
- Irrigation shall be to 4 inch Schedule 80 PVC installed 5' below grade. Extend at least 5-feet beyond the edge of pavement. Mark each end of sleeve with 3/4-inch rebar 12 inches below finish grade. (Coordinate with Irrigation contractor.)
- Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
- The primary electric feed, transformer, and meter are provided and installed by Wright-Henrich Electric Co-op. The transformer pad design is provided by the Utility and construction is by the Contractor. Contact Utility for pad detail. The secondary electric and controls shall be installed by the Electrical Contractor.
- See site lighting plan for additional information.
- CenterPoint Energy will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
- Provide one 4-inch PVC conduit with pull-string from existing telephone service to building.
- Provide conduit for cable television and other electronic communication.
- Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and continuation of services within building.
- Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 8 feet which shall be compacted to 100%. compact to 80% density where fill depth exceeds 10 feet. The soils shall be within 2% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 80% of Modified Proctor Density (ASTM D1557).
- Adjust structures to final grade where disturbed. Comply with requirements of UDOT. Meet requirements for traffic loading in paved areas.
- 4" HDPE foundation drain the system, refer to architectural and structural plans. Connect foundation drain tie to storm structures with well seal HDPE. Coordinate with plumbing and structural plans.
- All storm sewer catch basins shall include 10 LF of drain tie in all directions under the pavement. Refer to plan for layout. Refer to Detail 1 on Sheet C7.2 for additional information. The tie-in to the catch basins shall be installed above the top of the highest sewer pipe in the structure.
- All utility improvements shall be constructed in accordance with the latest edition of CEAA's Standard Utility Specifications and Albertville City Standards.
- Install new rip rap at existing pond outside as necessary from the outlet to the normal water level. Refer to Detail C7.2D.
- Construct utility structure over existing utility pipes, connection shall be water tight. Contractor shall field verify existing location prior to construction.
- Core drill existing structure for proposed pipe connection. Connection shall be water tight.
- Install a 20 LF single piece of HDPE storm sewer centered on the water crossing. Transition from HDPE to RCP per Detail 9 on Sheet C7.4.
- Furnish and install new R-390-A ceiling or approved equal or existing catch basin.

**UTILITY CROSSINGS**

1. Crossing 1 Watermain Top=957.24 Storm Sewer Bottom=953.09 Clearance = 4.15	6. Crossing 6 RESERVED
2. Crossing 2 Watermain Top=957.29 Storm Sewer Bottom=953.09 Clearance = 4.20	7. Crossing 7 Watermain Top=958.21 Sanitary Sewer Top=951.44 Clearance = 6.77
3. Crossing 3 Watermain Top=952.88 Storm Sewer Bottom=952.06 Clearance = 0.82	8. Crossing 8 Sanitary Sewer Top=949.68 Storm Sewer Bottom=954.29 Clearance = 4.61
4. Crossing 4 Watermain Top=953.07 Storm Sewer Bottom=953.39 Clearance = 0.32	9. Crossing 9 Watermain Top=955.52 Storm Sewer Bottom=954.33 CONFLICT - REFER TO NOTE 12 ADJUST TOP OF WATERMAIN TO 952.98, CLEARANCE = 2.07
5. Crossing 5 Watermain Top=953.05 Storm Sewer Bottom=952.87 Clearance = 0.18	10. Crossing 10 Watermain Top=954.22 Storm Sewer Bottom=959.81 Clearance = 5.59

**DEVELOPER**



**MUNICIPALITY**

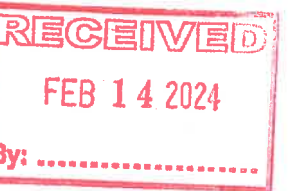


**PROJECT**  
**MEDART INC.**

**ALBERTVILLE, MN**

**ISSUE / REVISION HISTORY**

DATE	DATE / REVISION	REVISION
26 JAN 2024	PROJECT ISSUE	001
07 FEB 2024	CITY SUBMITTAL	002



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REQUIREMENT HAS NOT LONGER A VALID DOCUMENT. PLEASE CONTACT  
THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

**CITY SUBMITTAL**  
02.13.24



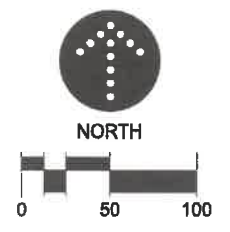
105 South Fifth Avenue Tel: 612-252-0070  
Suite 513 Fax: 612-252-0077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C401ME001.DWG  
PROJECT NO.: ME124001

**SANITARY & WATER**

**C4.2**

Exhibit E



Filename: MEDART\MEDART-A1

- PLAN NOTES**
- EXIT SIGNAGE. PROVIDE EMERGENCY BACK-UP POWER
  - EMERGENCY LIGHTING. PROVIDE EMERGENCY BACK-UP POWER AND (1) FOOT CANDLE AT THE WALKING SURFACE.
  - FIRE EXTINGUISHER. VERIFY SIZE AND SPACING WITH BUILDING OFFICIAL.

1 FLOOR PLAN  
A1 SCALE: 1/16" = 1'-0"

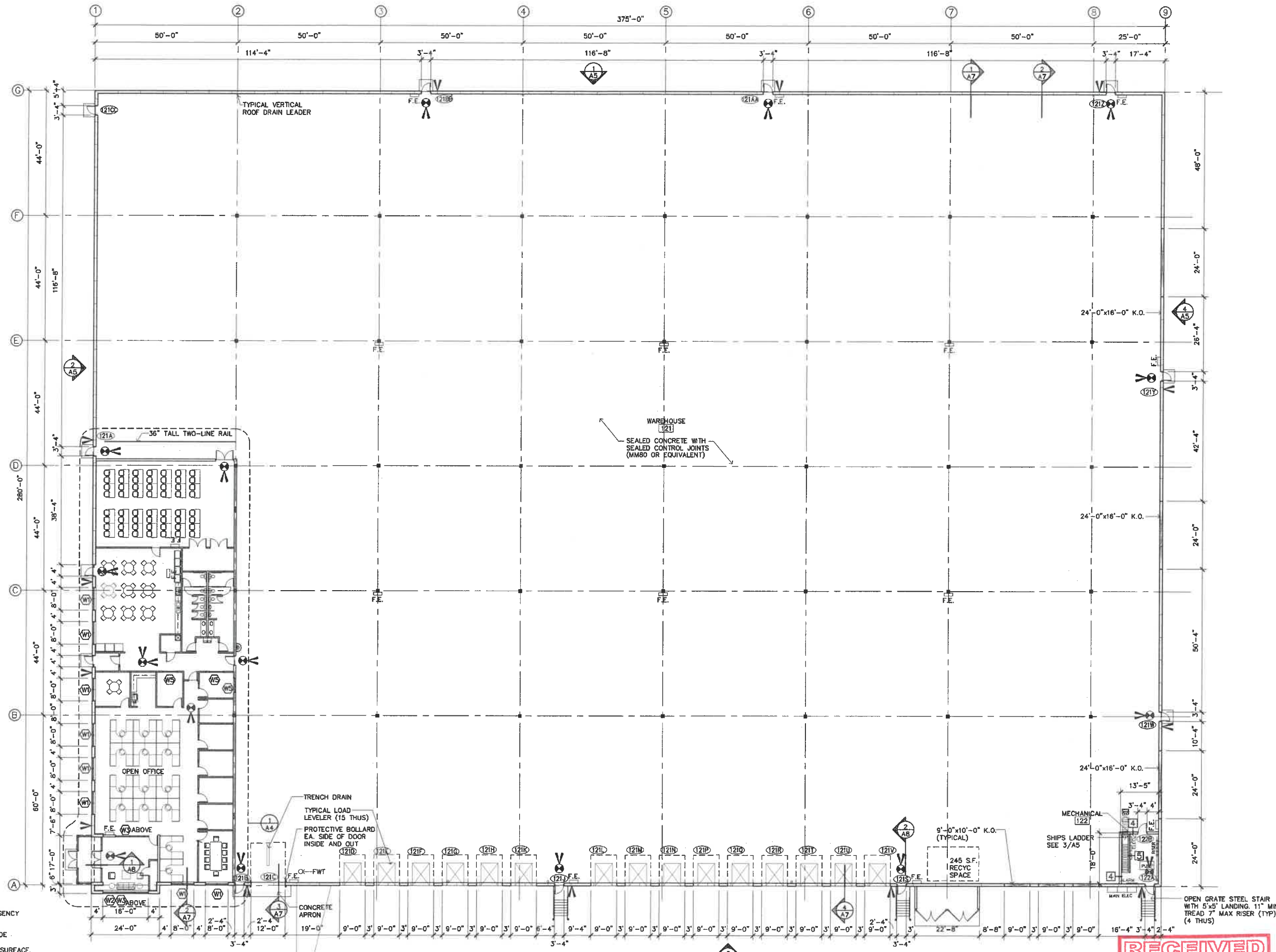


Exhibit F

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**LAMPERT ARCHITECTS**

420 Summit Avenue  
St. Paul, MN 55102  
Phone: 763.753.1211 Fax: 763.757.2849  
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

**PRELIMINARY NOT FOR CONSTRUCTION**

**MEDART, INC.**  
Albertville, Minnesota

Copyright 2024  
Leonard Lampert Architects Inc.  
Project Designer: JAMES B  
Drawn By: JRB  
Checked By: LL  
Revisions  
1/16/24 CITY SUBMITTAL

**FLOOR PLAN**

Sheet Number

**A1**

Project No. 210831-1



**LAMPERT ARCHITECTS**

420 Summit Avenue  
St. Paul, MN 55102  
Phone: 763.757.1211 Fax: 763.757.2248  
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

**PRELIMINARY NOT FOR CONSTRUCTION**

**MEDART, INC.**  
Ramsey, Minnesota

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Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

1/16/24 PRELIMINARY

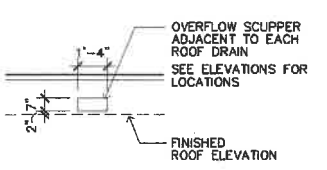
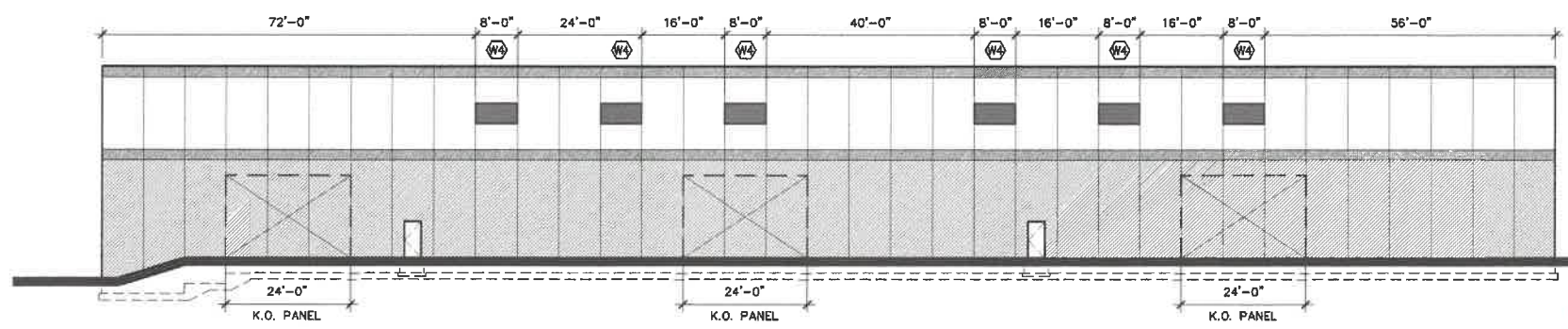
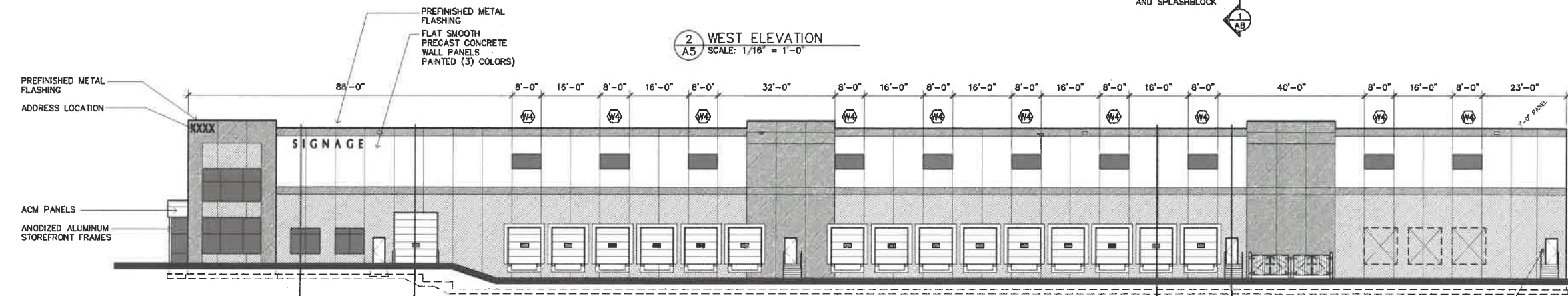
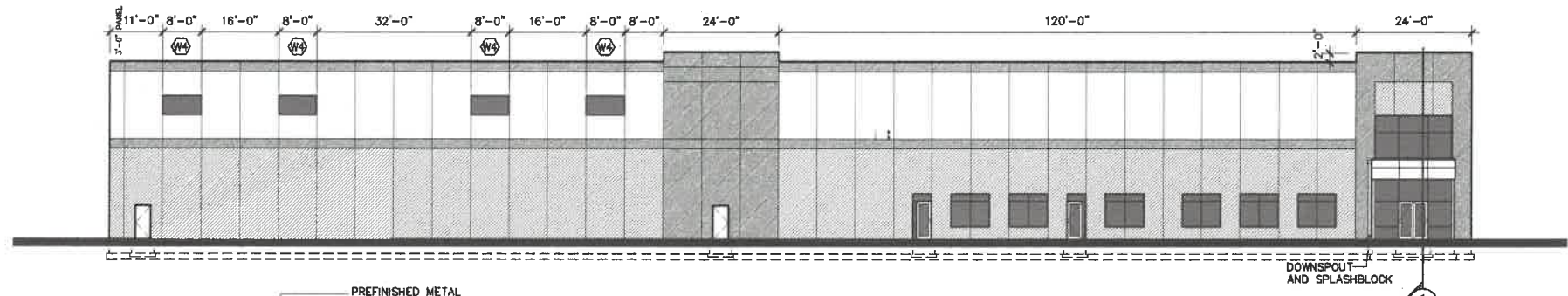
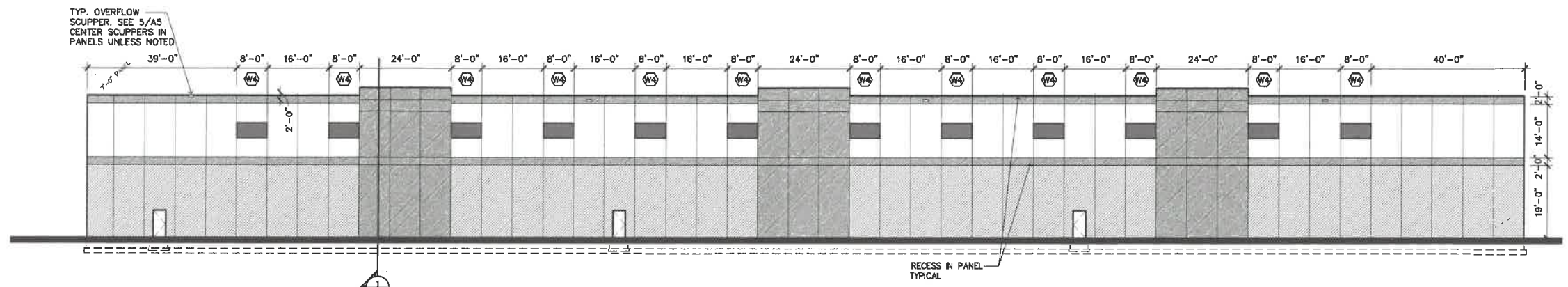
NO.	DATE	DESCRIPTION

**BUILDING ELEVATIONS**

Sheet Number

**A5**

Project No. 210831-1



NOTE: OVERFLOW SCUPPER IS SIZED ACCORDING TO IBC 1502.2.3 LEADER SIZE ASSUMED TO BE 8" DIAMETER. VERIFY WITH THE PLUMBING DESIGNER AND INT'L PLUMBING CODE

TOP OF PRECAST  
EL. = 137'-0"  
CLEAR HEIGHT  
EL. = 132'-0"

FINISHED FLOOR  
EL. = 100'-0"

BOTTOM OF SCUPPER  
EL. = 135'-5"

TYP. OVERFLOW SCUPPER. SEE S/A5 CENTER SCUPPERS IN PANELS UNLESS NOTED

PREFINISHED METAL FLASHING  
FLAT SMOOTH PRECAST CONCRETE WALL PANELS PAINTED (3) COLORS

PREFINISHED METAL FLASHING  
ADDRESS LOCATION

ACM PANELS  
ANODIZED ALUMINUM STOREFRONT FRAMES

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Exhibit G



A  
R  
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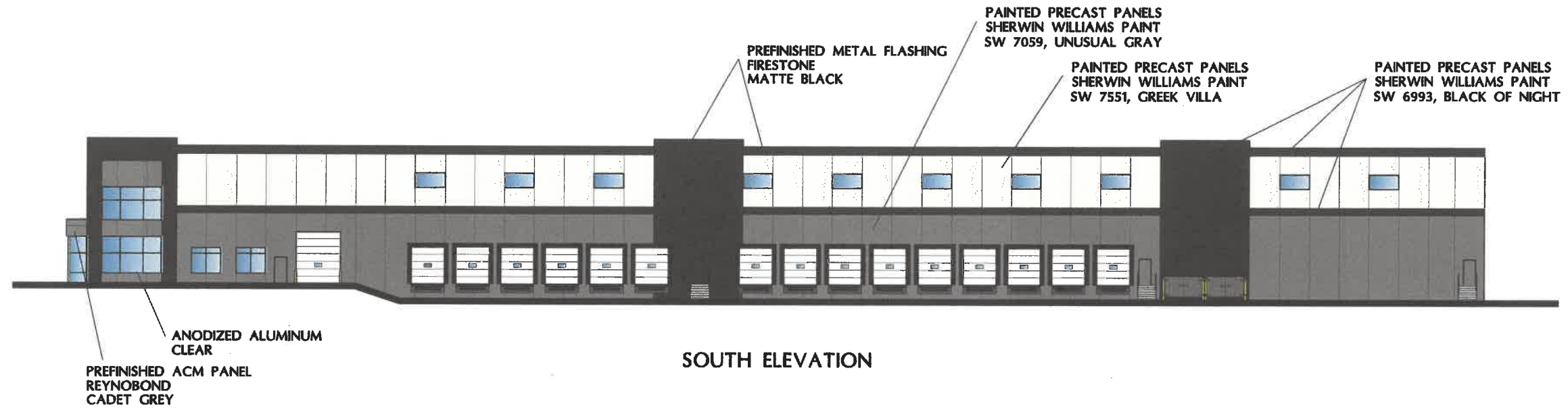
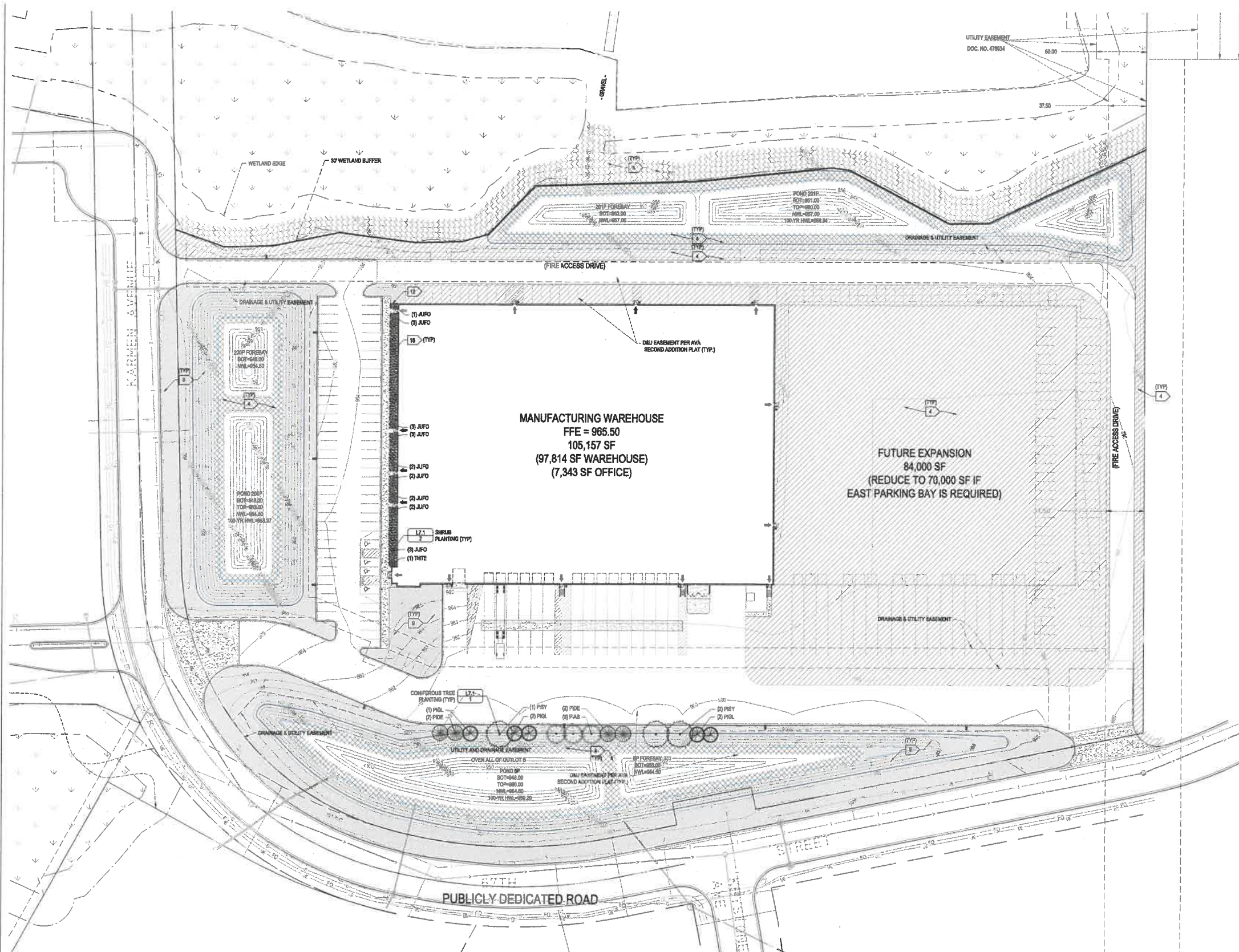


Exhibit H

MEDART, INC.  
Albertville, Minnesota

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NOTE: THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL COLORS NEED TO BE FIELD VERIFIED.



- GENERAL NOTES**
- For construction Staking and Surveying services contact Landform at 612.252.8070.
  - Contact Utility Service providers for field location of services 72 hours prior to beginning.
  - Coordinate installation with Contractors performing related work.
  - Seed mixture MNDOT 25-131 - Low Maintenance Turf and MNDOT 33-201 - Stormwater South and West as defined in current MNDOT Seeding Manual. Native Seeds shall be of Minnesota origin and certified by the Minnesota Crop Improvement Association (MICA). Provide verifying documentation to the Owner 30 days minimum prior to installation.
  - Seed mixture BWR-Misc Short Urban Buffer South and West as defined in current BWR Seeding Manual. Native Seeds shall be of Minnesota origin and certified by the Minnesota Crop Improvement Association (MICA). Provide verifying documentation to the Owner 30 days minimum prior to installation.
  - Plant material shall conform to the American Association of Nurserymen Standards and be of hardy stock, free from disease, infestation, damage, and disfigurement.
  - All existing dead/deciduous/deciduous trees are to be removed of dead wood and pruned to a natural uniform shape.
  - Planting soil shall consist of 4 parts topsoil to 1 part peat humus, with 3 pounds of commercial fertilizer added per cubic yard.
  - Spread a minimum of 4 inches of topsoil and all turf areas disturbed by Construction.
  - Follow MNDOT Seeding Manual for planting instructions for establishment of native seed and provide coordination for required erosion prevention and sediment control.
  - Reserved.
  - Edge planting beds with 5-inch, 1/2" thick, black, commercial grade steel edging (Bar-Loc or approved equal) except where adjacent to curbing, walls or buildings.
  - Place plants according to layout with proper overall spacing. For discrepancy between the number of plants on the Schedule and the number shown on the Drawing, the Drawing shall govern.
  - See Details for depth of planting soil.
  - Reserved.
  - Reserved.
  - Install 6" diameter triple-shouldered hardwood mulch disk around trees not placed within a Strip or Perennial Planting Bed. Digging is not required, unless noted otherwise.
  - Install 2 to 3 inch (nominal) grey trap rock to a depth of 4 inches in all planting beds unless noted otherwise. Landscape fabric shall be installed under all areas of rock mulch. Secure all edges and seams of fabric with 4-inch landscape staples.
  - Irrigation is required. Irrigation shall be designed by irrigation contractor. Contractor shall submit design plan and all shop drawings and systems components to Landscape Architect for review prior to purchase and installation. Contractor shall follow all applicable codes and obtain all necessary permits from local jurisdiction.
  - All plant material shall have a 1-year warranty. The warranty shall begin after the last plant has been installed and the Landscape Architect has approved the installation. Landscape contractor is responsible for replacing any and all plant material lost due during the warranty period. Landscape contractor shall assume all costs to any replacements. All replacements shall be same species and size and equal or better vigor as original installation.

**DEVELOPER**

**MEDART INC.**

**MUNICIPALITY**

**ALBERTVILLE**  
Small Town Living. Big City Life.

**PROJECT**

**MEDART INC.**

**ALBERTVILLE, MN**

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
29 JAN 2024	PROJECT ISSUE	CKC
19 FEB 2024	CITY SUBMITTAL	SDP

**RECEIVED**  
FEB 14 2024  
By: .....

**CERTIFICATION**

**PRELIMINARY NOT FOR CONSTRUCTION**

IF THE SIGNATURE, SEAL, OR FOLIO NUMBER DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED WITHOUT THE ARCHITECT'S RESPONSIBILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO OBTAIN ADDITIONAL DOCUMENTS.

**CITY SUBMITTAL**  
02.13.24

**LEGEND**

	MNDOT 25-131, Low Maintenance Turf seed mix. Seed at rate of 225 lbs/acre		Sod areas
	MNDOT 33-201, Stormwater South and West seed mix. Seed at rate of 35 lbs/acre		Rock mulch
	BWR-Misc Short Urban Buffer South and West seed mix. Seed at rate of 45.95 lbs/acre		

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT CONDITION
<b>EVERGREEN TREES</b>						
	PIAB	3	Picea abies / Norway Spruce	50'H x 30'W	8' HT	B & B
	PIGL	5	Picea glauca / White Spruce	50'H x 20'W	8' HT	B & B
	PIDE	4	Picea glauca 'Denata' / Black Hills Spruce	45'H x 20'W	8' HT	B & B
	PIBY	3	Pinus sylvestris / Scotch Pine	45'H x 35'W	8' HT	B & B
<b>SHRUBS</b>						
	JUPO	21	Juniperus chinensis 'Sea Green' / Sea Green Juniper	4'H x 5'W	3' HEIGHT	POT
	WYTE	1	Thuja occidentalis 'Tectry' / Tectry Arborvitae	15'H x 8'W	6' HT.	B&B

Exhibit I

**811**  
Know what's Below.  
Call before you dig.

**NORTH**

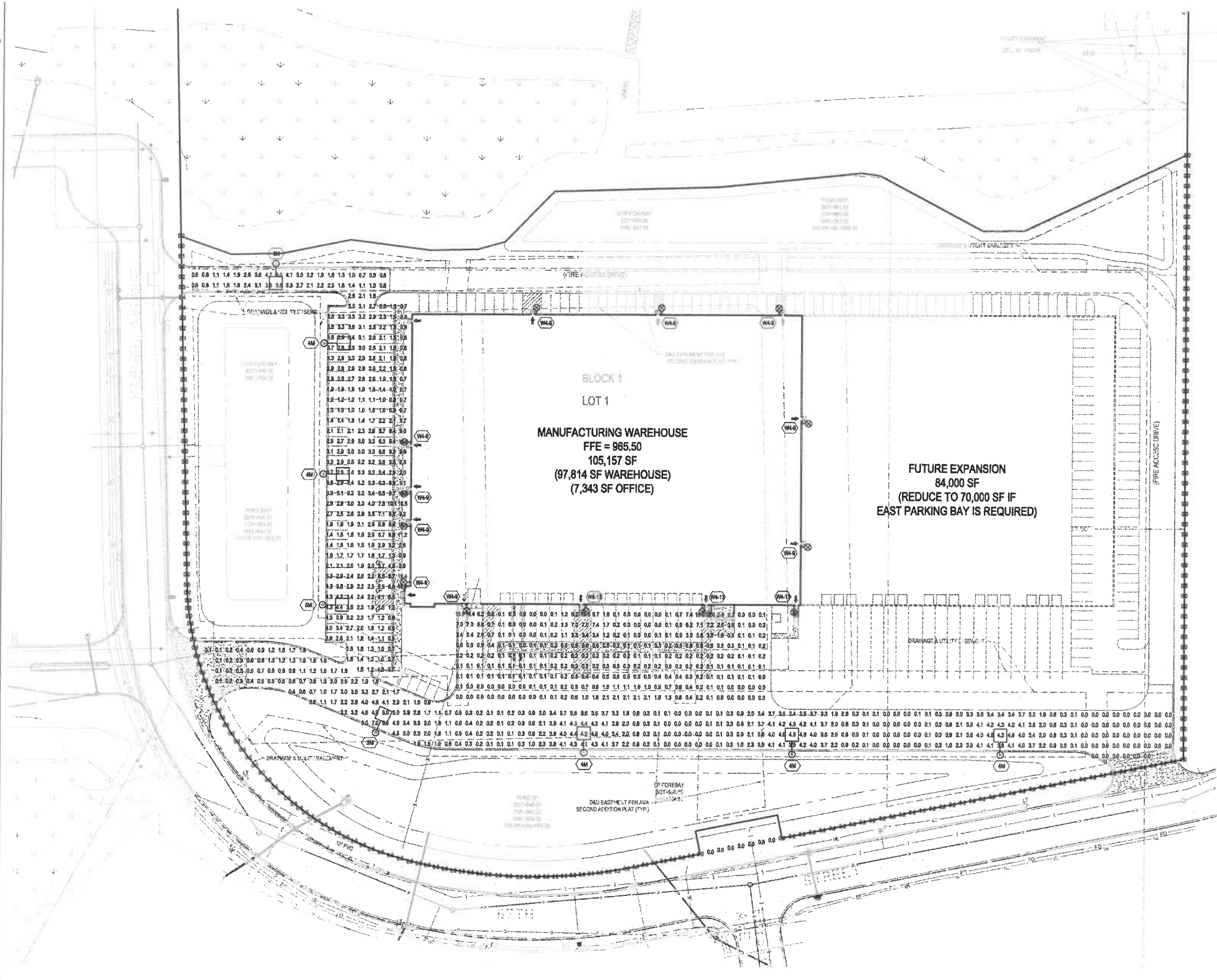
0 50 100

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Suite 513 Minneapolis, MN 55401  
Tel: 612-252-8070 Fax: 612-252-8077 Web: landform.net

FILE NAME: L201ME001.DWG  
PROJECT NO.: MEI24001

**LANDSCAPE PLAN**  
**L2.1**



**BLOCK 1  
LOT 1**

**MANUFACTURING WAREHOUSE**  
FFE = 965.50  
105,157 SF  
(97,814 SF WAREHOUSE)  
(7,343 SF OFFICE)

**FUTURE EXPANSION**  
84,000 SF  
(REDUCE TO 70,000 SF IF  
EAST PARKING BAY IS REQUIRED)

LUMINAIRE SCHEDULE					
CALLOUT	SYMBOL	QUANTITY	MOUNTING	MODEL	MOUNTING HEIGHT
3M		2	POLE	Cree Lighting OSQL-C-40L-40K-3M-Ultra-eco-cc w-OSQL-C-40L-30K-3M-Ultra-eco-cc w-OSQL-C-40L-30K-3M-Ultra-eco-cc	25'
4M		3	POLE	Cree Lighting OSQL-C-40L-40K-4M-Ultra-eco-cc w-OSQL-C-40L-30K-4M-Ultra-eco-cc	25'
5M		1	POLE	Cree Lighting OSQL-C-40L-40K-5M-Ultra-eco-cc w-OSQL-C-40L-30K-5M-Ultra-eco-cc	25'
W4-9		10	WALL	Cree Lighting XSPV-B-WM-4ME-6L-40K-Ultra-eco-cc	9'
W4-15		3	WALL	Cree Lighting XSPV-B-WM-4ME-6L-40K-Ultra-eco-cc	15'

- GENERAL NOTES**
- Coordinate with electrical contractor to provide conduits for cable lighting.
  - Light pole bases shall be designed and provided by others. All bases in green space shall be eight (8') inch height. All bases in pavement shall be thirty-six (36") inch height.
  - Mounting height listed in luminaire schedule measured from grade to bottom of fixture, and inclusive height of light pole base.
  - Calculations based on Cree Lighting fixtures. Any substitutions need to meet city code requirements.
- ALBERTVILLE CODE REQUIREMENTS**
- 97' - maximum pole height  
1.0 ft/s - maximum foot candle (at property line)

**LEGEND**

W4 Luminaire cutout

**OSQ Series**  
OSQ™ LED Area Flood Luminaire featuring Cree TrueWhite™ Technology - Medium & Large

**Product Description:**  
The OSQ™ luminaire is a modern, sleek, and compact design that provides high-quality, uniform lighting for a wide range of applications. It is designed to be used in both indoor and outdoor settings, and is available in a variety of mounting options and finishes. The OSQ luminaire is a high-performance, energy-efficient lighting solution that is ideal for a wide range of applications, including parking lots, industrial facilities, and commercial buildings.

**Performance Summary:**  
The OSQ luminaire is a high-performance, energy-efficient lighting solution that is ideal for a wide range of applications, including parking lots, industrial facilities, and commercial buildings. It is designed to provide high-quality, uniform lighting for a wide range of applications, and is available in a variety of mounting options and finishes.

**Accessories:**  
The OSQ luminaire is available with a variety of accessories, including mounting brackets, brackets, and brackets. These accessories are designed to provide a secure and reliable mounting for the luminaire, and are available in a variety of finishes and colors.

**Ordering Information:**  
The OSQ luminaire is available in a variety of configurations, including different mounting options, finishes, and colors. For more information, please contact your local Cree Lighting distributor or visit our website at [www.cree.com](http://www.cree.com).

**CREE LIGHTING**

**XSP Series**  
XSP™ LED Area Flood Luminaire featuring Cree TrueWhite™ Technology

**Product Description:**  
The XSP luminaire is a modern, sleek, and compact design that provides high-quality, uniform lighting for a wide range of applications. It is designed to be used in both indoor and outdoor settings, and is available in a variety of mounting options and finishes. The XSP luminaire is a high-performance, energy-efficient lighting solution that is ideal for a wide range of applications, including parking lots, industrial facilities, and commercial buildings.

**Performance Summary:**  
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**Accessories:**  
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**Ordering Information:**  
The XSP luminaire is available in a variety of configurations, including different mounting options, finishes, and colors. For more information, please contact your local Cree Lighting distributor or visit our website at [www.cree.com](http://www.cree.com).

**CREE LIGHTING**

**DEVELOPER**

**MEDART INC.**

**MUNICIPALITY**

**Albertville**  
Small Town Living. Big City Life.

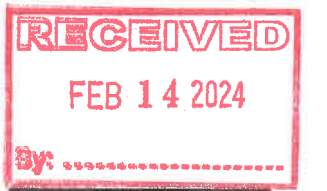
**PROJECT**

**MEDART INC.**

**ALBERTVILLE, MN**

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
25 JULY 2024	PROJECT ISSUE	CIC
02 FEB 2024	CITY SUBMITTAL	809



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**CITY SUBMITTAL**  
02.13.24

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
Web: landform.net

FILE NAME: L401ME001.DWG  
PROJECT NO.: ME24001

**PHOTOMETRICS PLAN**

**L4.1**

**811**  
Know what's Below.  
Call before you dig.

**NORTH**

0 50 100

**PLANNING REPORT**

TO: Adam Nafstad  
FROM: Alan Brixius  
DATE: March 4, 2024  
RE: Sign Code Amendment – Playfield Signs  
FILE NO: 163.05 23.05

**BACKGROUND**

The Albertville Sport Associations have inquired if the City would allow for the placement of advertising signs on the inside of the playfields. This will allow the associations and teams to sell advertising to local businesses and generate revenues to support their activities and field improvements.

The Albertville Sign code does not address the playfield signs, as such these types of signs are prohibited. The attached amendment outline provisions that may allow ballpark signs.

In reviewing the sign amendment, the Planning Commission requested that staff outline design performance standards for the playfield signs.

**EXHIBITS**

Exhibit A: Draft Sign Code Amendment – Playfield signs.

**ANALYSIS**

Many cities have sign regulations that allow playfield signs as means of generating revenues for local sport associations or teams. In drafting the attached sign code amendment, we researched other cities to determine the type of sign requirements that would be appropriate for Albertville.



Major points of the attached Sign Code amendment include:

1. The playfield signs shall only be allowed in Central Park. Central Park fields are used in league play and are not surrounded by residential neighborhoods. The code amendment does not introduce commercial signs into residential neighborhoods.
2. The proposed sign location shall be limited to the internal face of the ballpark field fences. This limits the exposure of the sign face to players and spectators on a specific ball field.
3. Ballpark signs shall be reviewed and approved by City Staff. The sign approval shall address the size, location and duration of any signs proposed within the ballpark.
4. Signs shall be limited to Banner signs not to exceed 3 feet in height and 5 feet in length.
5. Signs may be installed between May 1 through October 1.
6. The temporary banner signs must be removed for the Friendly City Days.
7. The City may remove any playfield sign that falls into disrepair or presents a public safety concern.
8. The approval will include an agreement that outlines the conditions of approval.

## **CONCLUSION**

The attached code is offered for Planning Commission and Council consideration. If the code amendment is acceptable, Staff recommends approval.

Cc. Maeghan Becker  
Kris Luedke  
Mike Couri

**CITY OF ALBERTVILLE  
COUNTY OF WRIGHT  
STATE OF MINNESOTA**

**ORDINANCE NO. 2024-\_\_\_\_\_**

**AN ORDINANCE AMENDING TITLE 10, CHAPTER 7, SIGN REGULATIONS OF  
THE ALBERTVILLE CITY CODE PERTAINING TO SECTION 10-7-6 DISTRICT  
REGULATIONS PROVISION I, SIGNS ALLOWED WITHIN THE P/I DISTRICT  
WITHOUT A PERMIT.**

**THE CITY COUNCIL OF THE CITY OF ALBERTVILLE ORDAINS:**

**SECTION 1.** Title 10, Chapter 7, Section 10-7-6. I, In P/I Districts, the following signs are allowed without permits is hereby amended to add the following:

7. Central Park/playfield advertising signs.
  - a. Temporary signs within Central Park playfields may be approved administratively provided they meet the following conditions.
  - b. The number, location, materials, and duration of advertising signs for each proposal shall be determined on an individual basis and shall be based on the park layout, natural surroundings, and potential visual impact to surrounding properties and scenic views. Playfield advertising signs shall be subject to the review and approval of City Zoning Administrator.
  - c. Temporary playfield signs shall meet the following design standards.
    - a. Banner signs only.
    - b. Banner signs shall not exceed three (3) in height and five (5) in length.
    - c. Banner signs within the Central Park playfields shall be located internal to the playfield and oriented toward the playfield.
    - d. Signs may be installed from May 1 to October 1.
    - e. All signs must be removed for the playfield fences two (2) days before Friendly City Days festival and may be reinstalled one day after the festival.
  - d. The City shall have the right to remove signs if they exceed the duration of the sign approval or the signs are not properly maintained as necessary for public health, safety, and welfare, all as determined by the City's Zoning Administrator.
  - e. A written agreement shall be prepared by the city to be signed by the city and all involved parties, identifying the parameters of the advertising signs and responsibilities of maintenance and financing for the advertising signs.

**THIS AMENDMENT SHALL BE IN FULL FORCE AND EFFECTIVE IMMEDIATELY FOLLOWING ITS PASSAGE AND PUBLICATION.**

Approved by the Albertville City Council this \_\_\_\_ day of \_\_\_\_\_ 2024.

\_\_\_\_\_  
Jillian Hendrickson, Mayor

ATTEST:

\_\_\_\_\_  
Kris Luedke, City Clerk

**EXHIBIT A**